

NOTICE TO THE AUDIENCE. PLEASE REMEMBER THAT IF YOU ARE INTERESTED IN MATTERS ON THE AGENDA THAT WILL HAVE SUBSEQUENT MEETINGS, IT IS YOUR RESPONSIBILITY TO NOTE THE DATES, TIMES, AND PLACES. NO FURTHER LETTERS OR REMINDERS WILL BE SENT. OF COURSE, IF YOU HAVE ANY QUESTIONS ABOUT ANY GIVEN MATTER, DO NOT HESITATE TO CONTACT THE PLANNING DEPARTMENT IN THE CITY HALL ANNEX, 4403 DEVILS GLEN ROAD, BETTENDORF, IOWA (344-4100).

MEETING NOTICE
BOARD OF ADJUSTMENT
MARCH 13, 2025
5:00 P.M.

PLACE: Bettendorf City Hall Council Chambers, Second Floor, 1609 State Street

1. Roll Call: Gallagher ____, Spranger ____, Tansey ____, Tombergs ____, Vermillion ____
2. Review of Board Procedures.
3. The Board to review and approve the minutes of the meeting of January 9, 2025.
4. The Board to review and approve the 2025 Board of Adjustment Annual Report.
5. The Board to hold a public hearing on the following cases:
 - a. **Case 25-009-SU; 4648 Woodland Court (R-2)** – Special use permit to allow an accessory dwelling unit, submitted by Windmill Design Build.
 - b. **Case 25-010-VAR; 4648 Woodland Court (R-2)** – Variance to increase the allowable size of an accessory dwelling unit from 800 square feet to 840 square feet, submitted by Windmill Design Build.
 - c. **Case 25-011-SU; 3262 Ridge Pointe (C-1)** – Special use permit to allow an outdoor service area with alcohol, submitted by Will Nigey for IMC Construction.



The materials for the Board of Adjustment meeting can be accessed by scanning the QR Code.

IN COMPLIANCE WITH THE AMERICANS WITH DISABILITIES ACT AND OTHER APPLICABLE FEDERAL AND STATE LAWS, ALL PUBLIC HEARINGS AND MEETINGS HELD OR SPONSORED BY THE CITY OF BETTENDORF, IOWA, WILL BE ACCESSIBLE TO INDIVIDUALS WITH DISABILITIES. PERSONS REQUIRING AUXILIARY AIDS AND SERVICES SHOULD CONTACT BETTENDORF CITY HALL AT (563) 344-4000 FIVE (5) DAYS PRIOR TO THE HEARING OR MEETING TO INFORM OF THEIR ANTICIPATED ATTENDANCE.

The following are minutes of the Bettendorf Board of Adjustment and are a synopsis of the discussion that took place at this meeting and as such may not include the entirety of each statement made. The minutes of each meeting do not become official until approved at the next Board meeting.

MINUTES
BETTENDORF BOARD OF ADJUSTMENT
JANUARY 9, 2025
5:00 P.M.

Gallagher called the meeting to order at 5:00 p.m.

Item 1. Roll Call

PRESENT: Gallagher, Spranger, Tansey, Tombergs, Vermillion

ABSENT: None

STAFF: Beck, Hunt, Fuhrman

Item 2. Review of Board procedures.

Item 3. The Board to review and approve the minutes of the meeting of October 10, 2024.

On motion by Tansey, seconded by Spranger, that the minutes of the meeting of October, 2024 be approved as submitted.

ALL AYES

Motion carried.

Item 4. Election of officers.

On motion by Tombergs, seconded by Spranger, that Gallagher remain in his position as Chair for 2025.

ALL AYES

Motion carried.

On motion by Spranger, seconded by Vermillion, that Tombergs remain in her position as Vice Chair for 2025.

ALL AYES

Motion carried.

Item 4. The Board to hold a public hearing on the following item:

- a. **Case 24-001-VAR; 5690 Devils Glen Road (A-2)** – Variance to allow a 5-foot high fence in the required front yard along Field Sike Drive, submitted by Carlos Calderon.

Beck reviewed the staff report.

There being no one present wishing to speak In favor of or In opposition to the request, Gallagher closed the public hearing.

On motion by Spranger, seconded by Tombergs, that a variance to allow a 5-foot high fence in the required front yard along Field Sike Drive be denied in accordance with the Decision and Order.

ALL AYES

Motion carried.

Decision and Order is Annex #2 to these minutes.

There being no further business, it was unanimously approved to adjourn the meeting at approximately 5:10 p.m.



Board of Adjustment Annual Report

2024

Special Use Permits
Variances
Special Location Parking Plans
Appeals
Miscellaneous Items



Board of Adjustment
City of Bettendorf
2024 Annual Report

Summary of Activities

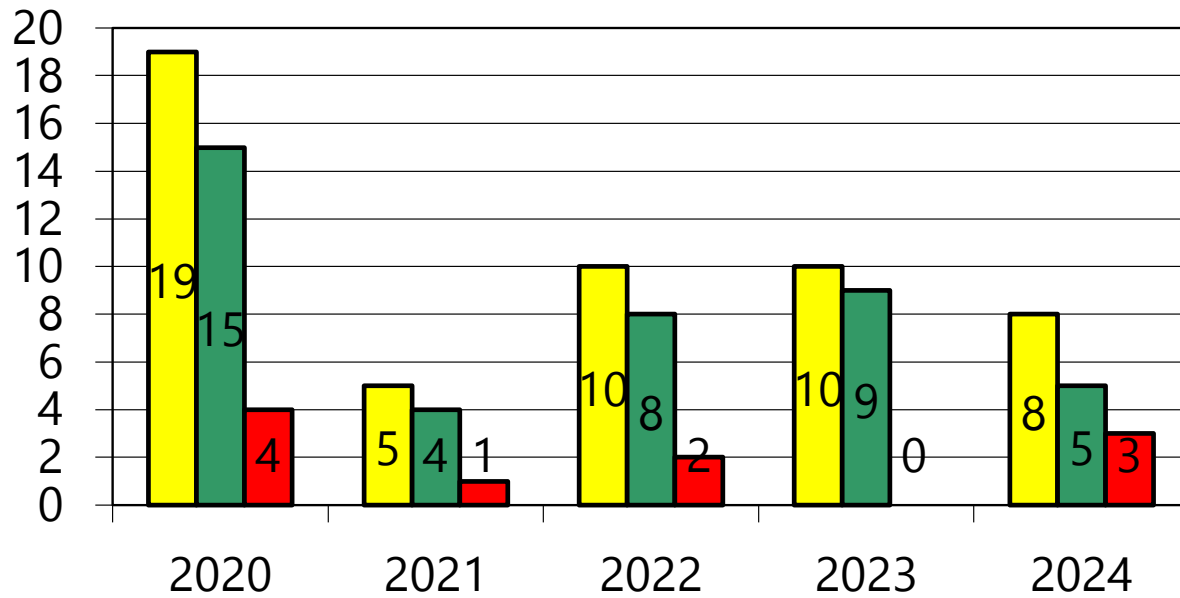
The City of Bettendorf's Board of Adjustment is a five-member board appointed by the Mayor. It is the responsibility of the Board to interpret the City's Zoning Ordinance as it applies to variances and special uses. Each month a visit to the site in question is made individually by the Board members followed by a public hearing.

The Board of Adjustment held public hearings regarding 15 cases during the year ending December 2024. Of those cases, 8 were Variance/Exception requests, 5 were Special Use Permit requests, and 2 were requests for approval of a Special Location Parking Plan. The Board granted 5 Variance/Exception requests, 5 Special Use Permits, and 2 Special Location Parking Plans.

Board Member Listing

Robert Gallagher (Appointed 2/12)
Mary Spranger (Appointed 7/12)
Gwen Tombergs (Appointed 10/18)
Jim Tansey (Appointed 11/19)
Rocky Vermillion (Appointed 8/21)

BOARD OF ADJUSTMENT ACTIVITY VARIANCES 2020 - 2024

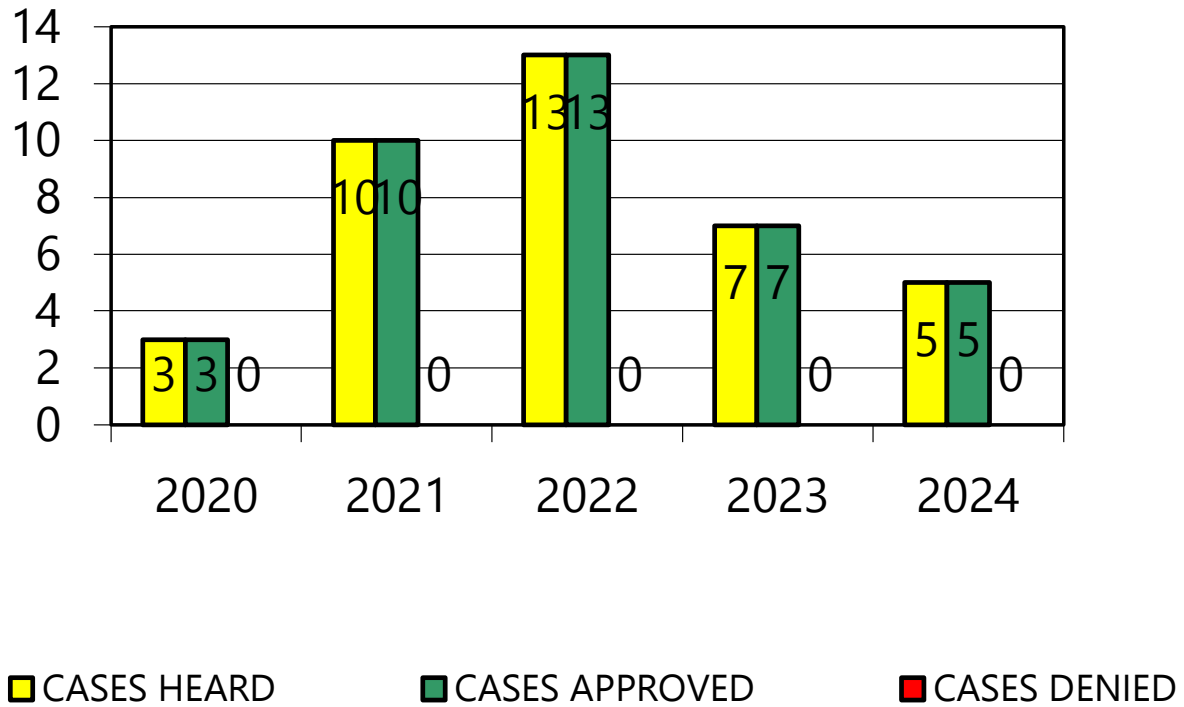


■ CASES HEARD

■ CASES APPROVED

■ CASES DENIED

BOARD OF ADJUSTMENT ACTIVITY SPECIAL USE PERMITS 2020 - 2024



2024 Board of Adjustment Annual Report

Case Number	Location	Request (Applicant)	Decision/ Date
24-007	3066 Victoria Street	Special Location Parking Plan to allow off-site parking at 3333 – 18 th Street to meet the minimum parking space requirement, submitted by Bettendorf Community School District.	Granted 2/15/24
24-014	6021 Valley Drive	Variance to reduce the required landscape buffer yard from 30 feet to 25 feet, submitted by Greg Franich.	Granted 3/14/24
24-015	5221 Competition Drive	Variance to increase the allowable height of an on-premises sign from 20 feet to 30 feet, submitted by Acme Sign Co.	Denied 3/14/24
24-016	3011 Devils Glen Road	Variance to increase the allowable area of an on-premises identification sign from 107 square feet to 177 square feet, submitted by Nicole Richards for Ace Sign Display.	Granted 3/14/24
24-017	3636 Tanglewood Road	Special Use Permit to allow a miniature golf course (Commercial Recreation-Controlled Impact), submitted by Craig Wagner.	Granted 3/14/24
24-039	2570 Middle Road	Special use permit to allow a bar and an outdoor service area with alcohol, submitted by SIM Golf Quad Cities 1, LLC.	Granted 5/9/24
24-040	1740 State Street	Special Use Permit to allow a bar and an outdoor service area with alcohol, submitted by Jason Sturtevant.	Granted 6/13/24
24-043	4383 – 53 rd Avenue	Special Use Permit to allow an outdoor service area with alcohol, submitted by Aman J. Razdan.	Granted 6/13/24
24-047	1740 State Street	Special Location Parking Plan to allow part of the required number of parking spaces to be located off-site, submitted by Jason Sturtevant.	Granted 7/11/24
24-053	2460 State Street	Special Use Permit to allow an outdoor service area with alcohol, submitted by Judith Mariscal.	Granted 10/10/24
24-054	3077 – 48 th Avenue	Variance to allow a 5-foot high fence in the required front yard along Davis Street, submitted by Kyle Pfitzenmaier.	Denied 8/15/24
24-059	Lots 2 and 3, Hopewell Farm Second Addition	Exception to reduce the required minimum lot size to allow for construction of townhomes, submitted by CT Creek.	Granted 8/15/24

2024 Board of Adjustment Annual Report

Case Number	Location	Request (Applicant)	Decision/Date
24-060	2834 Villa Court	Variance to reduce the required setback from 25 feet to 16 feet to allow construction of a deck, submitted by Tarikere Kumar.	Granted 8/15/24
24-061	4614 – 34 th Street	Variance to allow a 6-foot high fence in a required front yard, submitted by Ahmed Osman.	Denied 10/10/24
24-062	2846 Villa Court	Variance to reduce the required rear yard setback from 25 feet to 21 feet to allow construction of a deck, submitted by Pfitz's Fence & Deck.	Granted 10/10/24

STAFF REPORT

Subject: Board of Adjustment
Author: Taylor Beswick
Department: Community Development
Date: March 7, 2025

Case Nos.: 25-009-SU and 25-010 VAR
Request: Special Use Permit and Variance for an Accessory Dwelling Unit
Location: 4648 Woodland Court (Lot 14, The Woodlands 2nd Addition)
Applicant: Windmill Design Build
Current Zoning: R-2, Single Family Residence District
Future Land Use: NL, Neighborhood Light
Related Cases: N/A

Background Information & Staff Review

Windmill Design Build has submitted a building permit application for a new single-family, detached home which also includes an attached accessory dwelling unit at 4648 Woodland Court ([see Aerial Map - Attachment A](#)). The City of Bettendorf currently requires a special use permit for attached accessory dwelling units, the only type of accessory dwelling units currently allowed by code. Current code also specifies the attached accessory unit size shall be between 400 – 800 square feet. The proposed unit has an outer foundation which is 40 square feet over this limit, thus the applicant is also requesting a variance. The property is shown as Neighborhood Light and R-2, Single-Family Residence on the Future Land Use and Zoning Maps ([see Future Land Use & Zoning Maps – Attachment B](#)). Crow Creek Park borders the property to the west, and the adjacent lots are of asimilar size (~25,000 square feet) or larger, all located on a cul-de-sac street.

A plot plan of the proposed building shows the entire structure within the R-2 District required setbacks ([see Plot Plan – Attachment C](#)). Construction plans show the accessory dwelling unit attached by a covered stoop which contains an outdoor kitchen and patio ([see Construction Plans – Attachment D](#)). As shown in the elevation drawings included in the construction plans, the accessory dwelling unit shares a roof with the principal structure and is indiscernible as a separate dwelling unit from the front or side property viewpoints. Per 11-11A-9(D)8., an accessory dwelling unit must meet certain requirements. Staff contends the proposal meets all legally enforceable requirements, as some requirements are outdated and are no longer legal due to State Code preemption or other code conflicts. In addition, all Special Use Permits shall only be approved if all standards prescribed in 11-15-9(E.) are met. Staff contends the private nature of the proposal does not interfere with or negatively affect any neighboring property and recommends approval of the request.

The size of the outer foundation wall of the accessory dwelling unit is 30 feet x 28 feet (840 square feet). Measuring the proposed interior floor area results in a much smaller result of 767 square feet ([see ADU Interior Measurement Screenshot – Attachment E](#)). Given the vague guidelines for measuring the ADU size in current code, staff would recommend approval of the variance request based on the measurement of the exterior footprint, a 5% increase of the current allowable footprint.

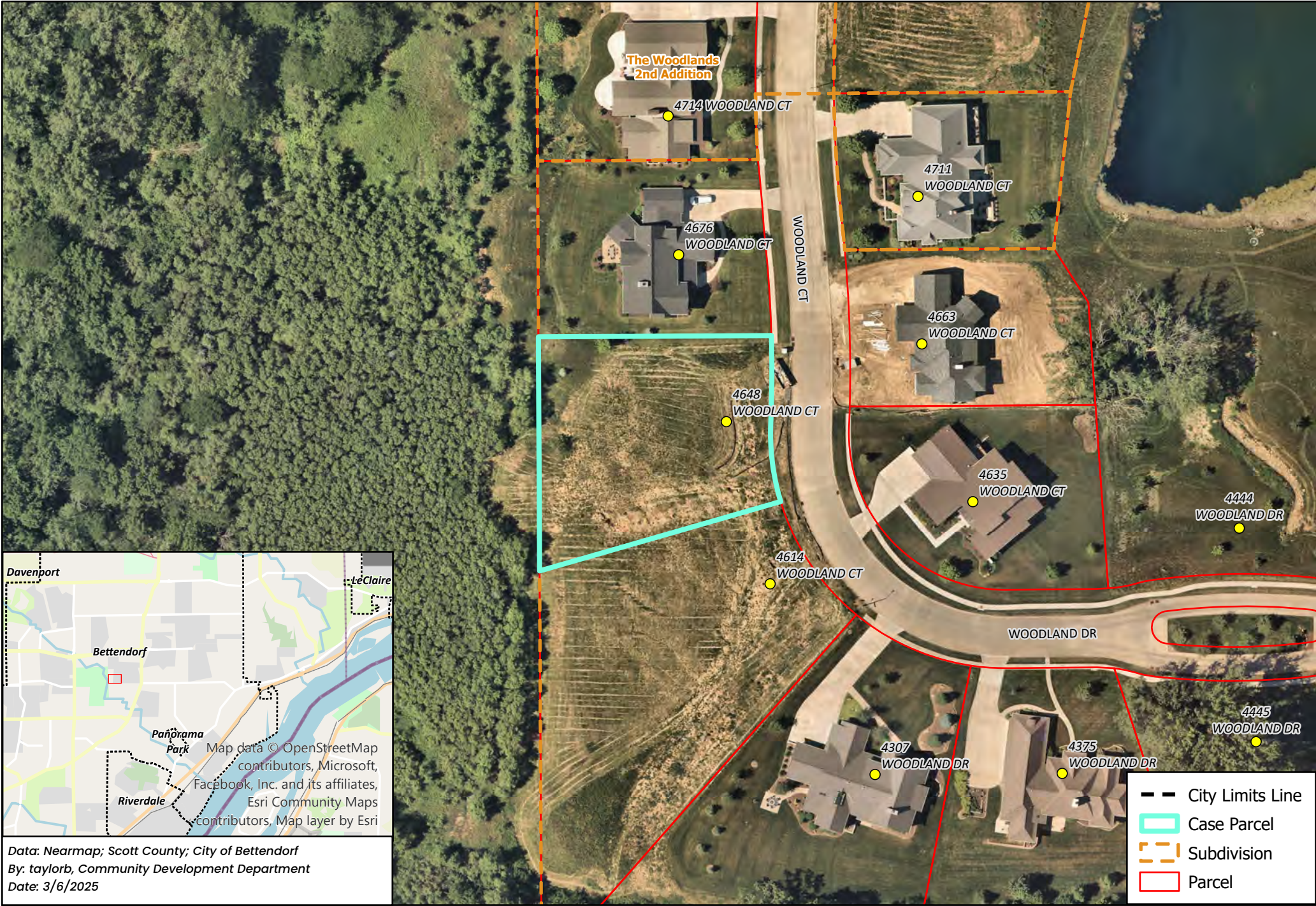
Staff Recommendation

Staff contends the proposed Special Use Permit and Variance requests meet city standards and code requirements. Staff recommends approval of Case 25-009-SU and Case 25-010-VAR.

Taylor Beswick
Senior City Planner, AICP, CFM

Case No. 25-009-SU & 25-010-VAR 4648 Woodland Court Special Use and Variance Request Aerial - Attachment A

1 Inch = 125 Feet



Data: Nearmap; Scott County; City of Bettendorf
By: taylorb, Community Development Department
Date: 3/6/2025

- City Limits Line
- Case Parcel
- Subdivision
- Parcel

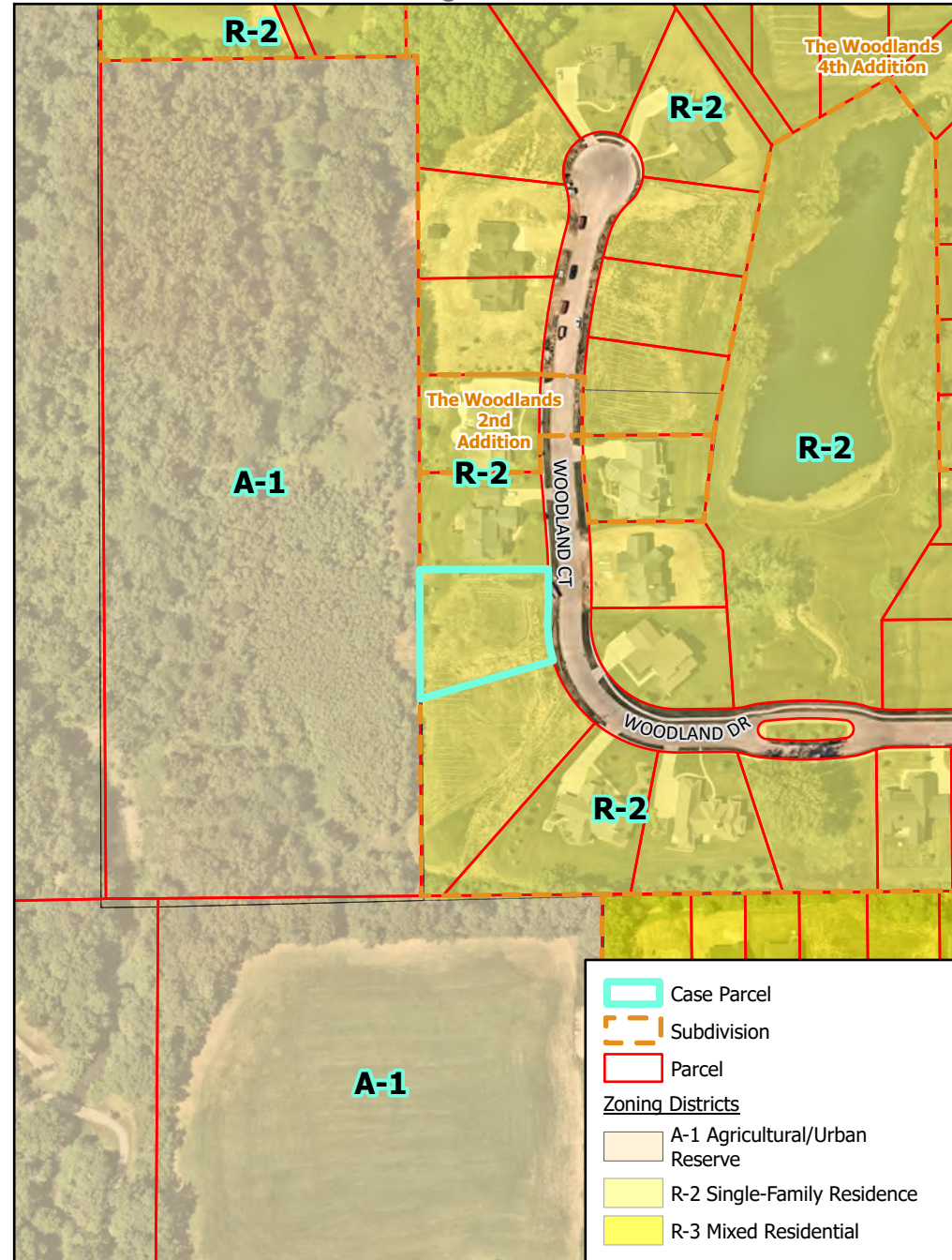
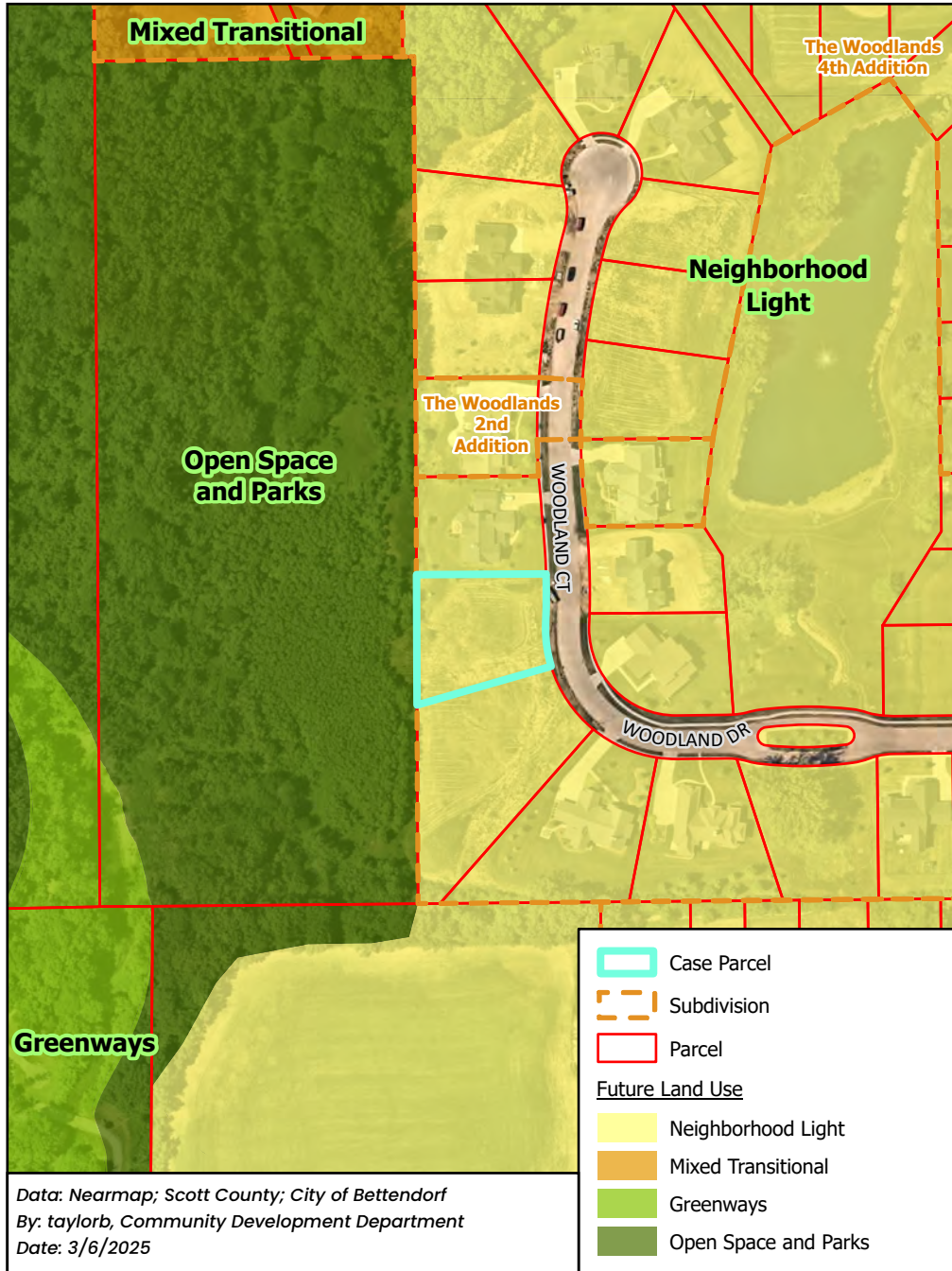
Case No. 25-009-SU & 25-010-VAR 4648 Woodland Court Special Use and Variance Request Future Land Use & Zoning - Attachment B

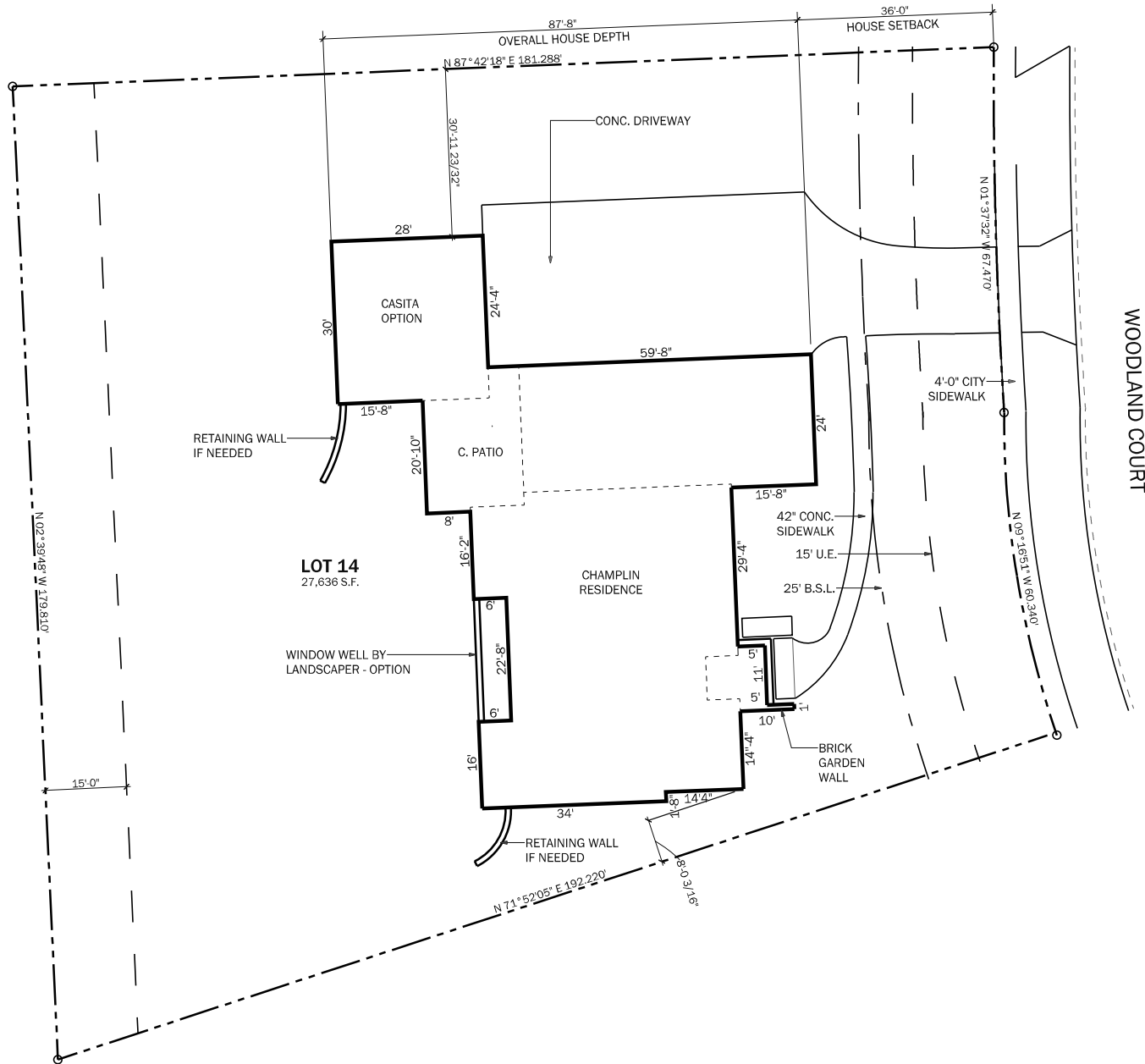
1 Inch = 333 Feet
0 185 370 740 Feet



Future Land Use

Zoning (Current)





SITE PLAN

SCALE

CHAMPLIN RESIDENCE
 LOT 14 THE WOODLANDS 1ST ADDITION
 4648 WOODLAND COURT
 BETTENDORF, IA

1" = 30'

SEIFFERT LUMBER COMPANY IS NOT AN ARCHITECT OR ENGINEER AND CONSTRUCTION OF THESE PLANS SHOULD NOT BE UNDERTAKEN WITHOUT THE ASSISTANCE OF A REGISTERED PROFESSIONAL ARCHITECT, ENGINEER, CONTRACTOR, OR BUILDER. SEIFFERT LUMBER COMPANY, ITS OFFICERS, OWNERS, AND EMPLOYEES FROM ANY CLAIMS OR LAWSUITS THAT MAY BE ASSERTED AGAINST SEIFFERT LUMBER COMPANY OR ANY OF ITS OFFICERS, OWNERS, OR EMPLOYEES IN CONNECTION WITH THESE PLANS OR DRAWINGS. THEREFORE, SEIFFERT LUMBER COMPANY ASSUMES NO LIABILITY FOR ANY ERRORS, OMISSIONS, OR INADEQUACIES IN THESE DRAWINGS AND ASSUMES RESPONSIBILITY FOR THE SAME.

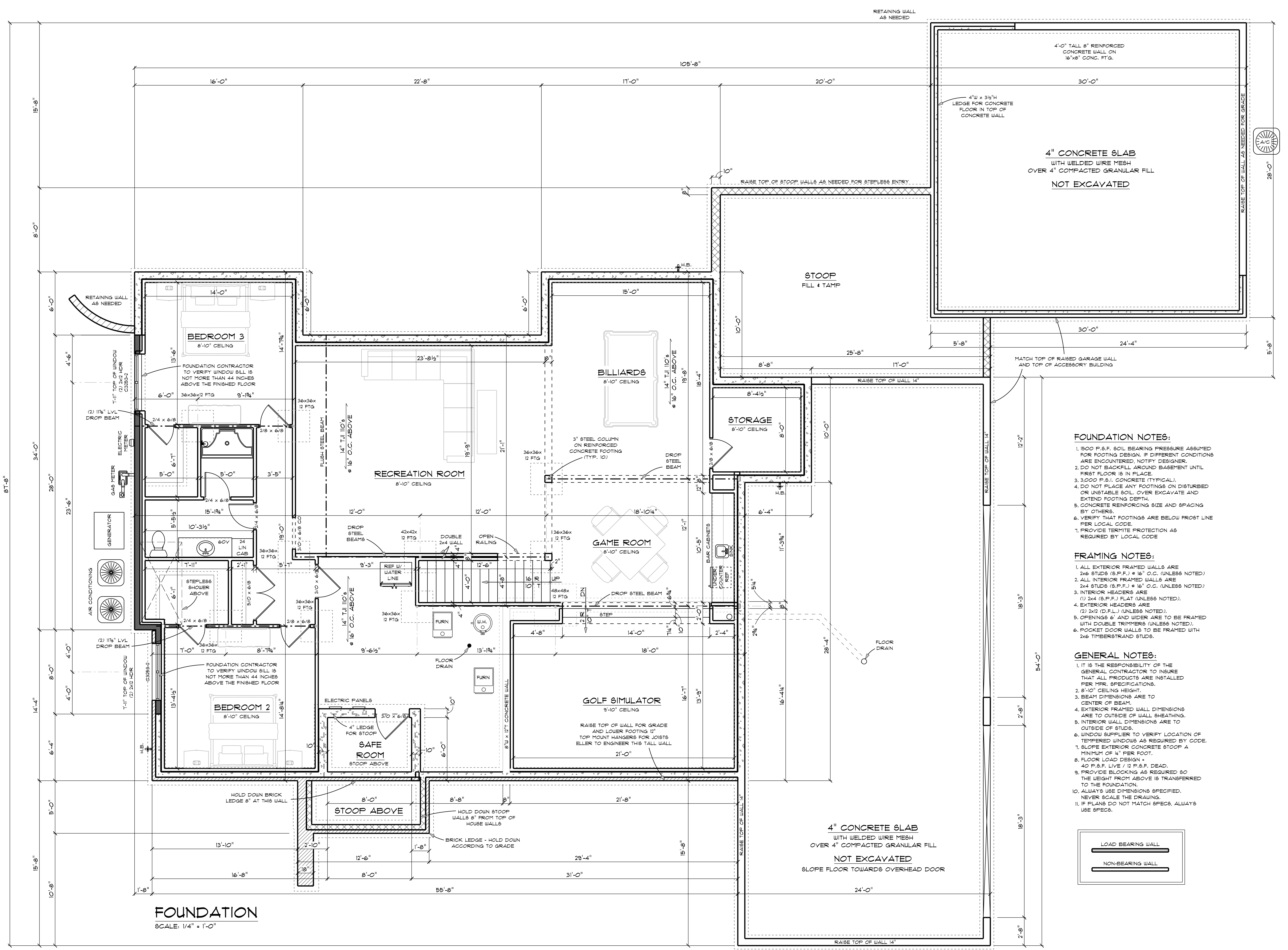
Champlin Residence
Lot 14, The Woodlands 1st Addition
4648 Woodland Court, Bettendorf, IA

WINDMILLER
DESIGN BUILD

FINAL RELEASE
2/21/2025
DRAWN BY
IAN SCHROEDER
ian@seiffertlumber.com

REVISIONS BY

DRAWING NUMBER
2468
OF 5
FOUNDATION



FOUNDATION NOTES:

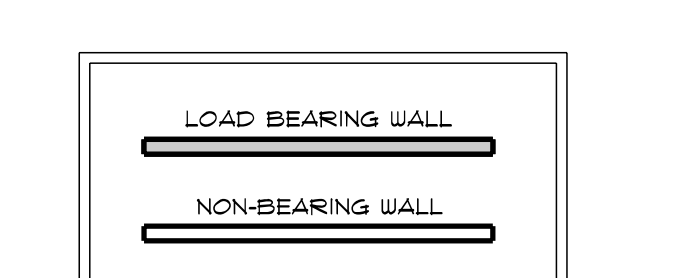
- 1500 P.S.F. SOIL BEARING PRESSURE ASSUMED FOR FOOTING DESIGN. IF DIFFERENT CONDITIONS ARE ENCOUNTERED, NOTIFY DESIGNER.
- DO NOT BACKFILL AROUND BASEMENT UNTIL FIRST FLOOR IS IN PLACE.
- 3000 P.S.I. CONCRETE (TYPICAL).
- DO NOT PLACE ANY FOOTINGS ON DISTURBED OR UNSTABLE SOIL. OVER EXCAVATE AND EXTEND FOOTING DEPTH.
- CONCRETE REINFORCING SIZE AND SPACING BY OTHERS.
- VERIFY THAT FOOTINGS ARE BELOW FROST LINE PER LOCAL CODE.
- PROVIDE TERMITES PROTECTION AS REQUIRED BY LOCAL CODE.

FRAMING NOTES:

- ALL EXTERIOR FRAMED WALLS ARE 2x6 STUDS (S.P.F.) @ 16" O.C. (UNLESS NOTED)
- ALL INTERIOR FRAMED WALLS ARE 2x4 STUDS (S.P.F.) @ 16" O.C. (UNLESS NOTED)
- INTERIOR HEADERS ARE (1) 2x4 (S.P.F.) FLAT (UNLESS NOTED), (2) 2x12 (D.F.L.) (UNLESS NOTED).
- OPENINGS 6" AND WIDER ARE TO BE FRAMED WITH DOUBLE TRIMMERS (UNLESS NOTED).
- POCKET DOOR WALLS TO BE FRAMED WITH 2x6 TIMBERSTRAND STUDS.

GENERAL NOTES:

- IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO INSURE THAT ALL PRODUCTS ARE INSTALLED PER MFR. SPECIFICATIONS.
- 8'-10" CEILING HEIGHT.
- BEAM DIMENSIONS ARE TO CENTER OF BEAM.
- EXTERIOR FRAMED WALL DIMENSIONS ARE TO OUTSIDE OF WALL SHEATHING.
- INTERIOR WALL DIMENSIONS ARE TO OUTSIDE OF STUDS.
- WINDOW SUPPLIER TO VERIFY LOCATION OF TEMPERED WINDOWS AS REQUIRED BY CODE.
- SLOPE EXTERIOR CONCRETE STOOP A MINIMUM OF 1/4" PER FOOT.
- FLOOR LOAD DESIGN = 40 P.S.F. LIVE / 12 P.S.F. DEAD.
- PROVIDE BLOCKING AS REQUIRED SO THE WEIGHT FROM ABOVE IS TRANSFERRED TO THE FOUNDATION.
- ALWAYS USE DIMENSIONS SPECIFIED. NEVER SCALE THE DRAWING.
- IF FLANS DO NOT MATCH SPEC, ALWAYS USE SPECS.



FOUNDATION
SCALE: 1/4" = 1'-0"

SEIFFERT LUMBER COMPANY IS NOT AN ARCHITECT OR ENGINEER. THE CONSTRUCTION OF THESE PLANS SHOULD NOT BE UNDERTAKEN WITHOUT THE ASSISTANCE OF A REGISTERED PROFESSIONAL ARCHITECT, ENGINEER, OR SURVEYOR. THE ARCHITECT, ENGINEER, OR SURVEYOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR VERIFYING THE ACCURACY OF ALL DIMENSIONS AND DETAILS IN THESE DRAWINGS AND ASSUMING RESPONSIBILITY FOR THE SAME.

Champlin Residence
Lot 14, The Woodlands 1st Addition
4648 Woodland Court, Bettendorf, IA

WINDMILLER
DESIGN BUILD

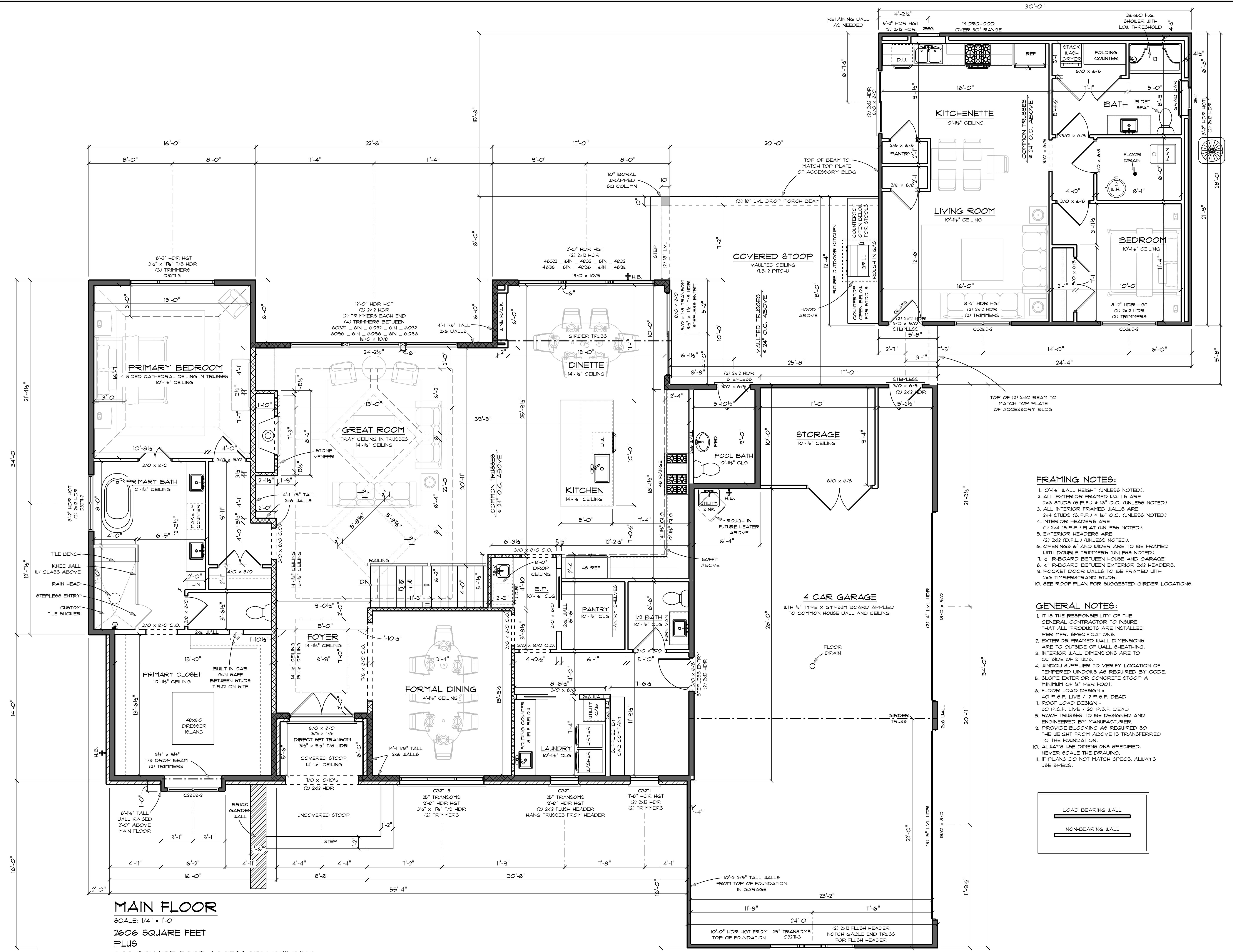
FINAL RELEASE
2/21/2025
DRAWN BY
IAN SCHROEDER
ian@seiffertlumber.com

REVISIONS BY

DRAWING NUMBER
2468

2
OF 5

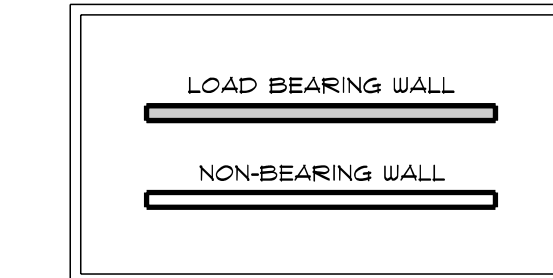
MAIN FLOOR



MAIN FLOOR
SCALE: 1/4" = 1'-0"
2606 SQUARE FEET
PLUS
840 SQUARE FOOT ACCESSORY BUILDING

- FRAMING NOTES:**
- 10'-0" WALL HEIGHT (UNLESS NOTED).
 - ALL EXTERIOR FRAMED WALLS ARE 2x6 STUDS (S.P.F.) @ 16" O.C. (UNLESS NOTED).
 - ALL INTERIOR FRAMED WALLS ARE 2x4 STUDS (S.P.F.) @ 16" O.C. (UNLESS NOTED).
 - INTERIOR HEADERS ARE (1) 2x4 (S.P.F.) FLAT (UNLESS NOTED).
 - EXTERIOR HEADERS ARE (2) 2x2 (D.F.L.) (UNLESS NOTED).
 - OPENINGS 6" AND WIDER ARE TO BE FRAMED WITH DOUBLE TRIMMERS (UNLESS NOTED).
 - 1" R-B BOARD BETWEEN HOUSE AND GARAGE.
 - 1/2" R-B BOARD BETWEEN EXTERIOR 2x2 HEADERS.
 - POCKET DOOR WALLS TO BE FRAMED WITH 2x6 TIMBERSTRAND STUDS.
 - SEE ROOF PLAN FOR SUGGESTED GIRDER LOCATIONS.

- GENERAL NOTES:**
- IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO INSURE THAT ALL PRODUCTS ARE INSTALLED PER MFR. SPECIFICATIONS.
 - EXTERIOR FRAMED WALL DIMENSIONS ARE TO OUTSIDE OF WALL SHEATHING.
 - INTERIOR WALL DIMENSIONS ARE TO OUTSIDE OF STUDS.
 - WINDOW SUPPLIER TO VERIFY LOCATION OF TEMPERED WINDOWS AS REQUIRED BY CODE.
 - SLOPE EXTERIOR CONCRETE STOOP A MINIMUM OF 1" PER FOOT.
 - FLOOR LOAD DESIGN + 40 P.S.F. LIVE / 12 P.S.F. DEAD
 - ROOF LOAD DESIGN + 30 P.S.F. LIVE / 20 P.S.F. DEAD
 - ROOF TRUSSES TO BE DESIGNED AND ENGINEERED BY MANUFACTURER.
 - PROVIDE BLOCKING AS REQUIRED SO THE WEIGHT FROM ABOVE IS TRANSFERRED TO THE FOUNDATION.
 - ALWAYS USE DIMENSIONS SPECIFIED. NEVER SCALE THE DRAWING.
 - IF PLANS DO NOT MATCH SPECS, ALWAYS USE SPECS.





LEFT ELEVATION
SCALE: 1/4" = 1'-0"



RIGHT ELEVATION
SCALE: 1/4" = 1'-0"

SEIFFERT LUMBER COMPANY IS NOT AN ARCHITECT OR ENGINEER AND CONSTRUCTION OF THESE PLANS SHOULD NOT BE UNDERTAKEN WITHOUT THE ASSISTANCE OF A CONSTRUCTION PROFESSIONAL. THE PURCHASER AND BUILDER OF THIS PLAN RELEASE SEIFFERT LUMBER COMPANY, ITS OFFICERS, OWNERS, AND EMPLOYEES FROM ANY CLAIMS OR LAWSUITS THAT MAY BE ASSERTED AGAINST SEIFFERT LUMBER COMPANY OR ANY OF ITS OFFICERS, OWNERS, OR EMPLOYEES. THEREFORE, SEIFFERT LUMBER COMPANY ASSUMES NO LIABILITY FOR ANY DIMENSIONS AND DETAILS IN THESE DRAWINGS AND ASSUMES RESPONSIBILITY FOR THE SAME.

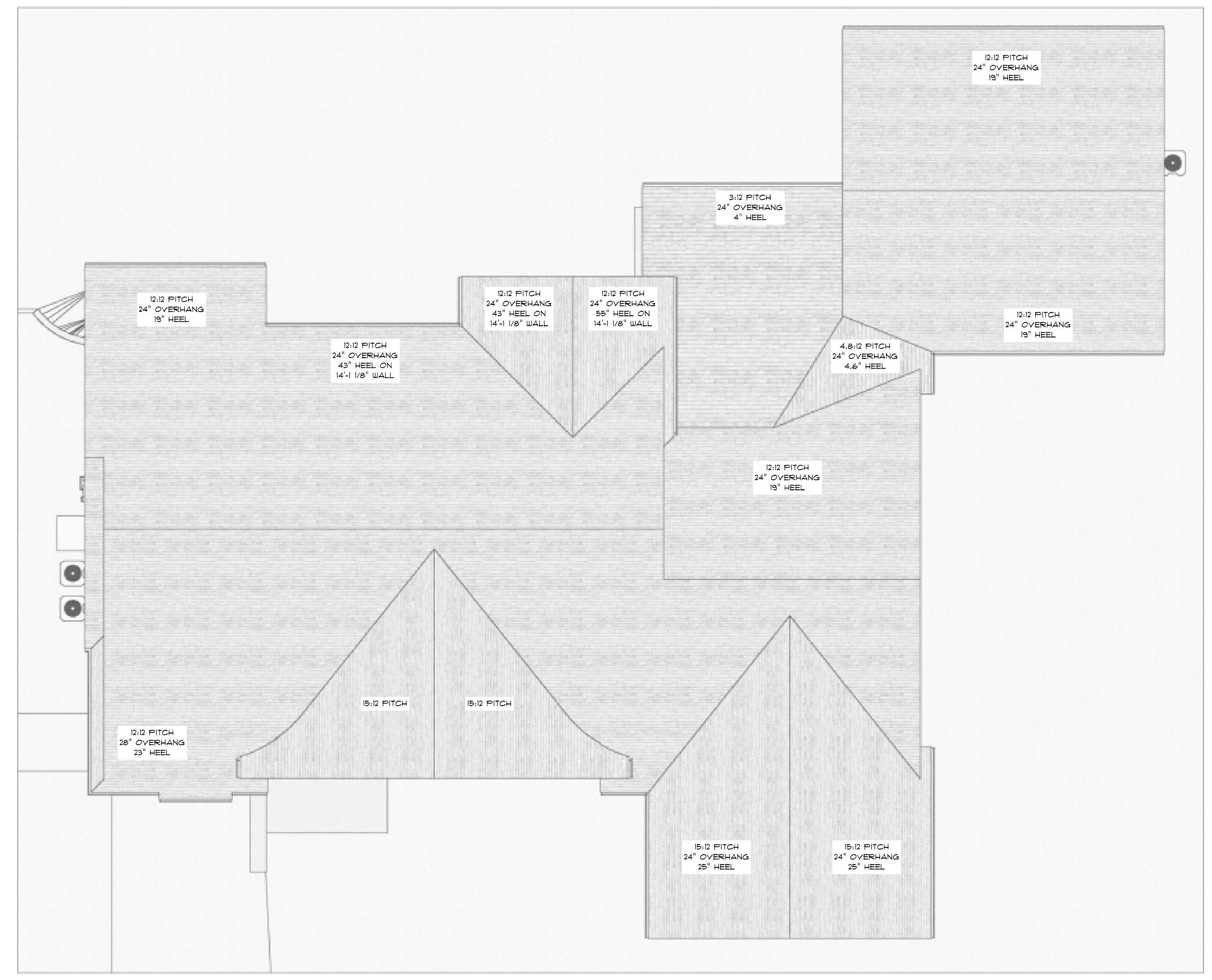
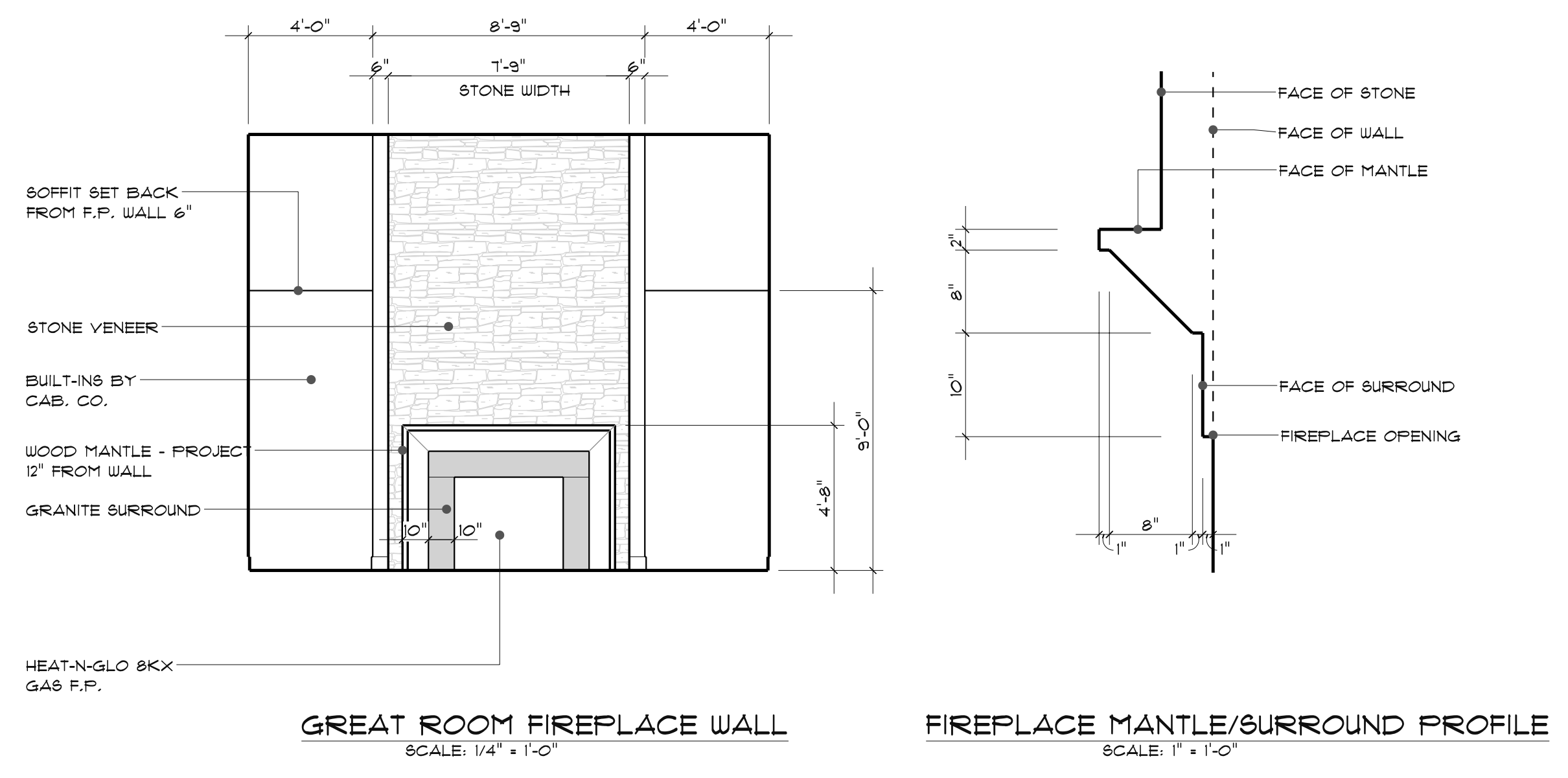
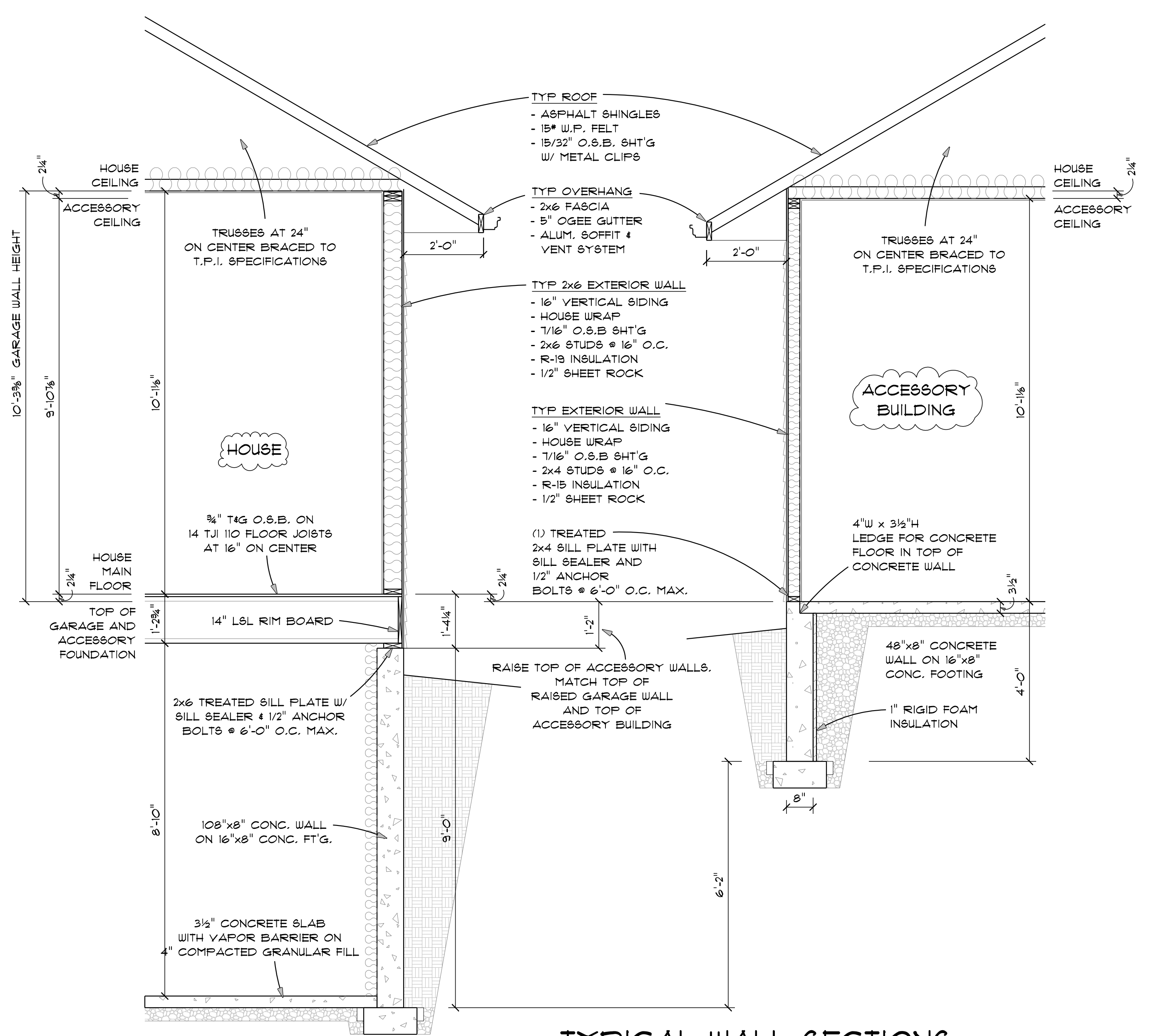
Champlin Residence
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WINDMILLER
DESIGN BUILD

FINAL RELEASE
2/2/2025
DRAWN BY
IAN SCHROEDER
ian@seiffertlumber.com

REVISIONS BY

DRAWING NUMBER
2468
5
OF 5



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STAFF REPORT

Subject: Board of Adjustment
Author: Taylor Beswick
Department: Community Development
Date: March 7, 2025

Case No.: 25-011-SU
Request: Special Use Permit for Outdoor Patio with Alcohol Service
Location: 3262 Ridge Pointe (Lots 4 and 5, Quail Ridge Pointe Subdivision)
Applicant: Will Nigey DBA IMC Construction
Current Zoning: C-1, Neighborhood Commercial
Future Land Use: CC, Community Commercial
Related Cases: N/A

Background Information & Staff Review

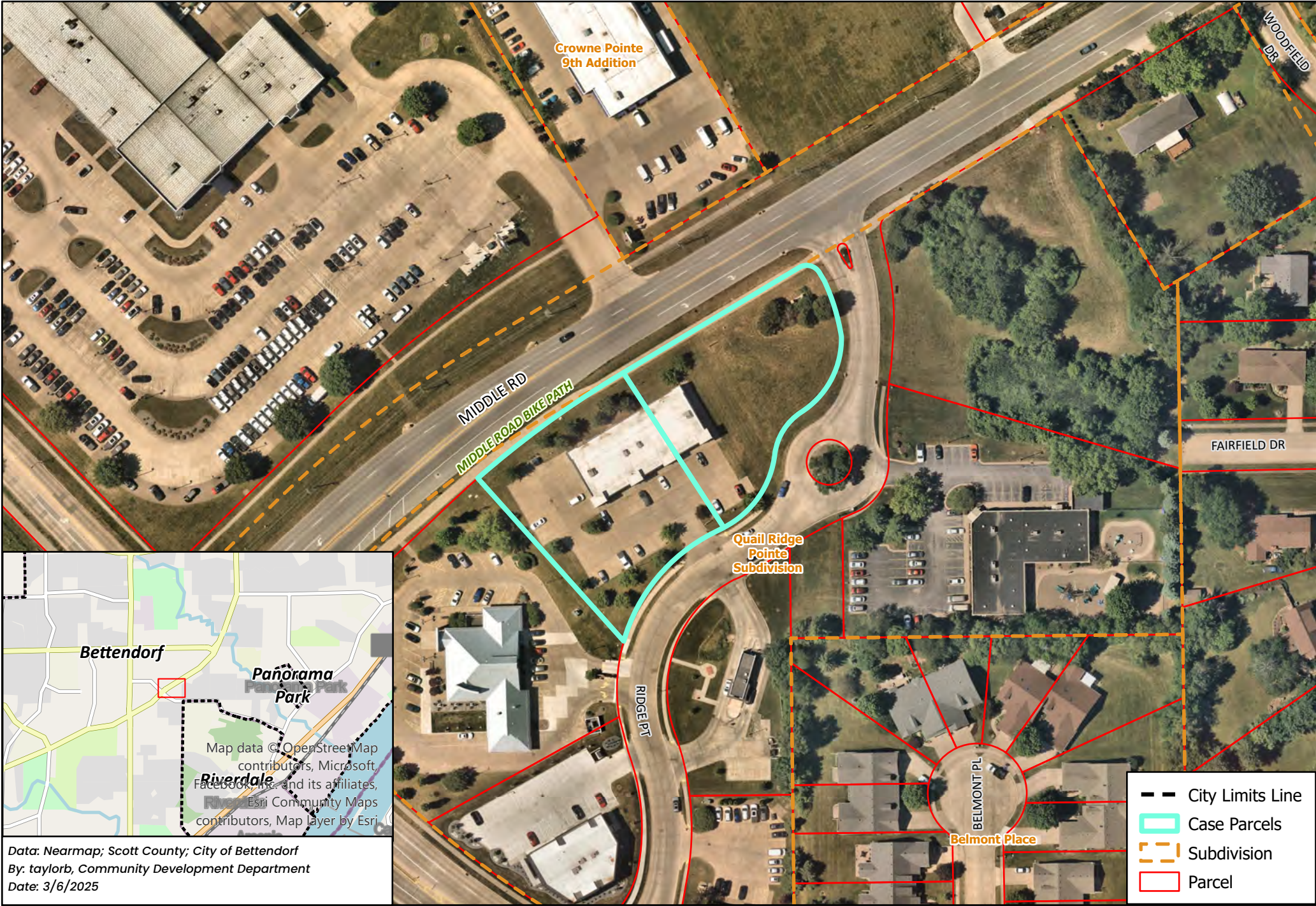
Will Nigey of IMC Construction has submitted a Special Use Permit request for an outdoor patio with alcohol service at 3262 Ridge Pointe ([see Aerial Map - Attachment A](#)). A building permit application has been submitted proposing alteration of a unit which will be the future of home of Meli's Pancake House. The property is designated as Community Commercial on the Future Land Use Map and is zoned C-1, Neighborhood Commercial ([see Future Land Use & Zoning Map - Attachment B](#)). All surrounding properties are commercially zoned. The proposed patio is shown on the east side of the existing building and is 586 square feet. The patio will be fronted by Middle Road to the north, a vacant lot to the east, and Ridge Pointe to the south ([see Site Plan - Attachment C](#)). At the time when the building containing the proposed restaurant was approved, an additional building was also approved and has yet to be constructed. This building and associated parking is shown on the site plan for the patio. The proposed patio would occupy three parking spaces planned for the future building. At such time as the proposed building is built, staff will analyze the uses and parking allotments required. The patio may need to be removed or the proposed building may need to be redesigned pending proposed uses. Meli's Pancake House has proposed hours of 8 AM to 2 PM, and a majority of the seating is located indoors ([see Construction Plans - Attachment D](#)). Staff contends the surrounding uses are compatible with outdoor alcohol service associated with a neighborhood, breakfast restaurant and the parking plan for the existing building would be minimally impacted due to the offsetting hours of proposed and existing uses. Special Use Permits shall only be approved if all standards prescribed in 11-15-9(E.) are met. Staff contends the proposal enhances the character of the area, serves both public and private interests, and does not negatively affect any neighboring property.

Staff Recommendation





Staff contends the proposed Special Use Permit meets city standards and code requirements. Staff recommends approval of Case 25-011-SU.

Taylor Beswick
Senior City Planner, AICP, CFM

Case No. 25-011-SU 3262 Ridge Pointe Special Use Request Aerial - Attachment A



Data: Nearmap; Scott County; City of Bettendorf
By: taylorb, Community Development Department
Date: 3/6/2025

-  City Limits Line
-  Case Parcels
-  Subdivision
-  Parcel

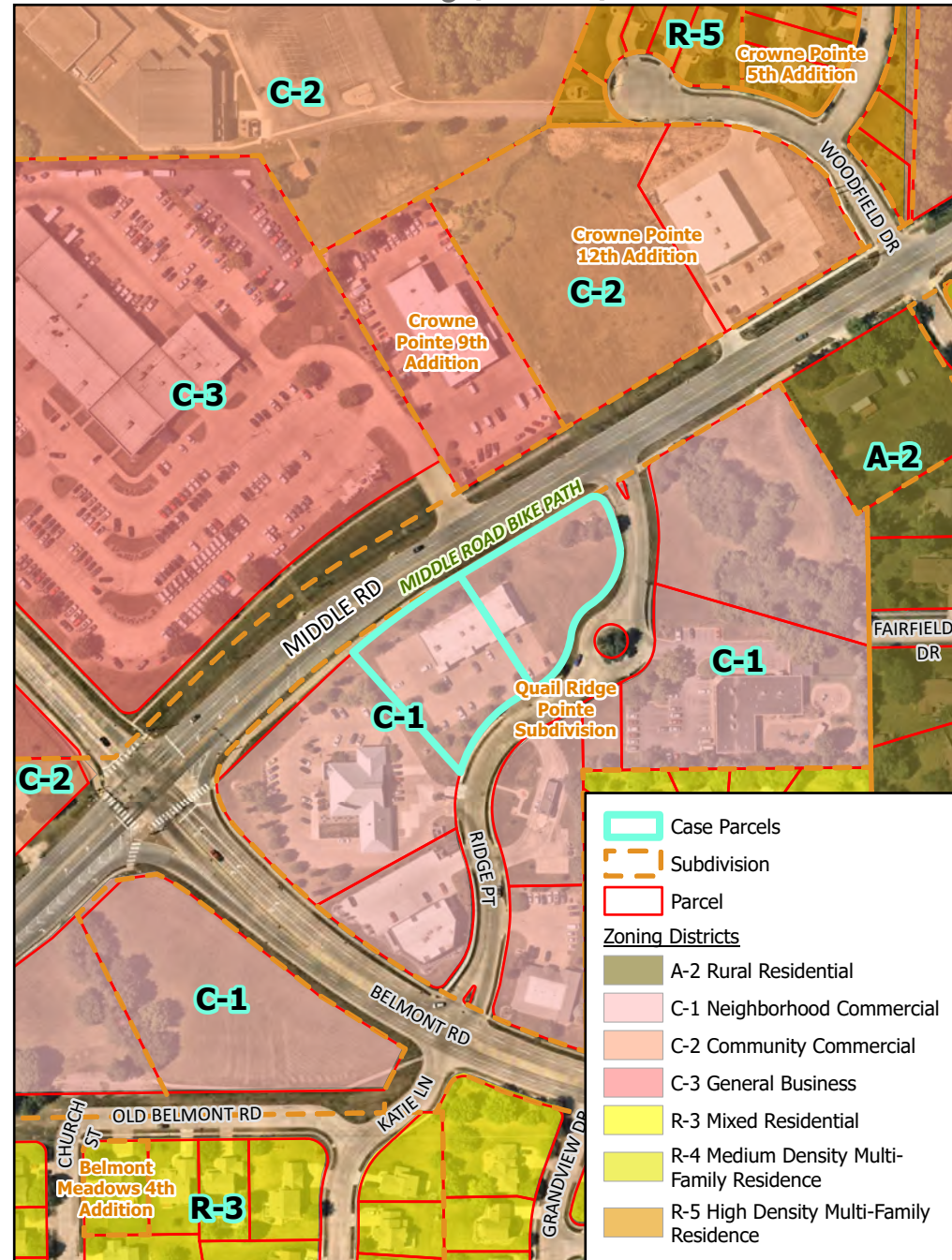
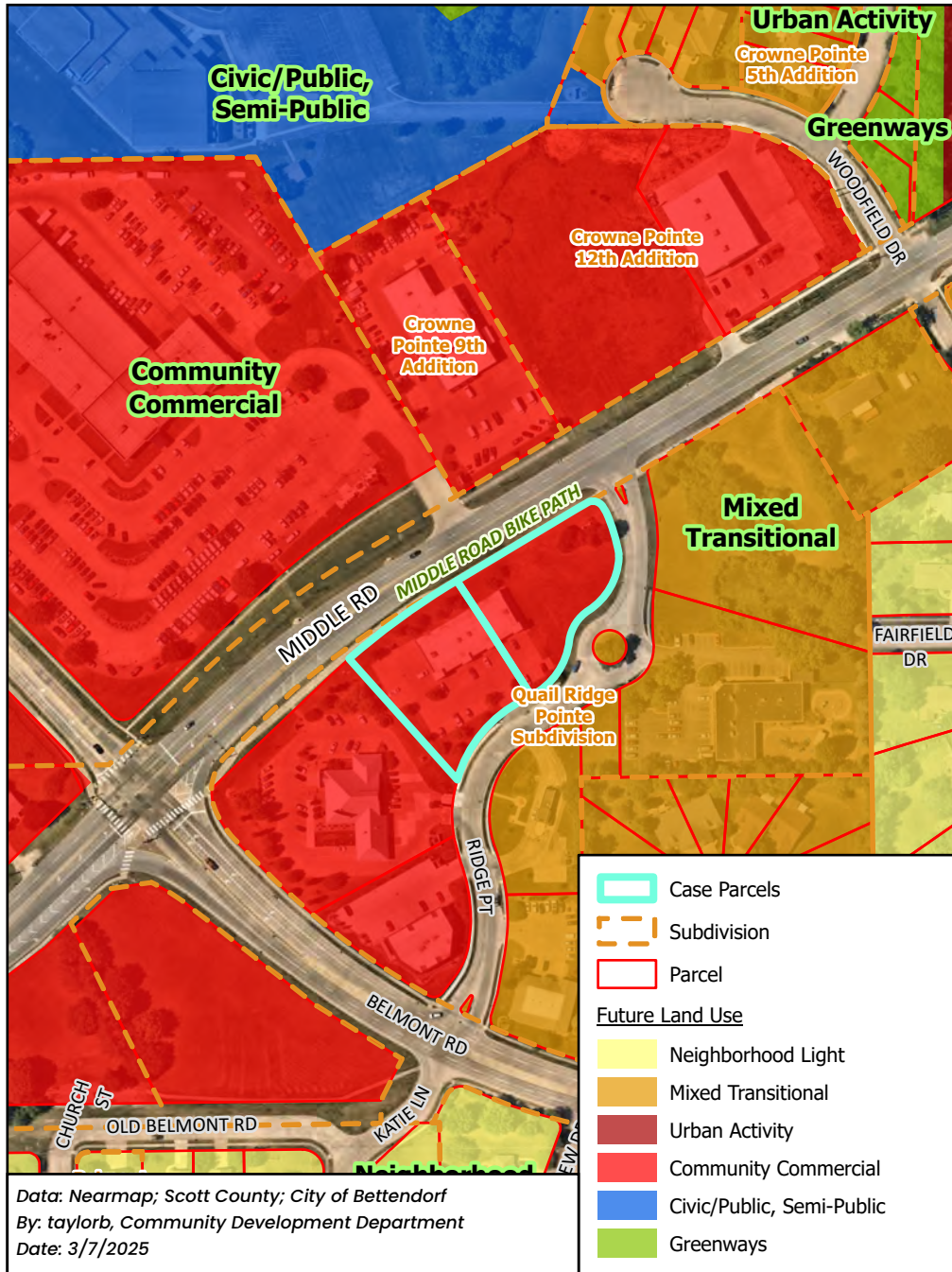
Case No. 25-011-SU 3262 Ridge Pointe Special Use Request Future Land Use & Zoning - Attachment B

1 Inch = 333 Feet
0 185 370 740 Feet



Future Land Use

Zoning (Current)



Data: Nearmap; Scott County; City of Bettendorf
By: taylorb, Community Development Department
Date: 3/7/2025

C-1 Neighborhood Commercial Zoning Requirements
Front Yard Setback: 20' Minimum
Side Yard Setback: 20' Minimum
Rear Yard Setback: 20' Minimum

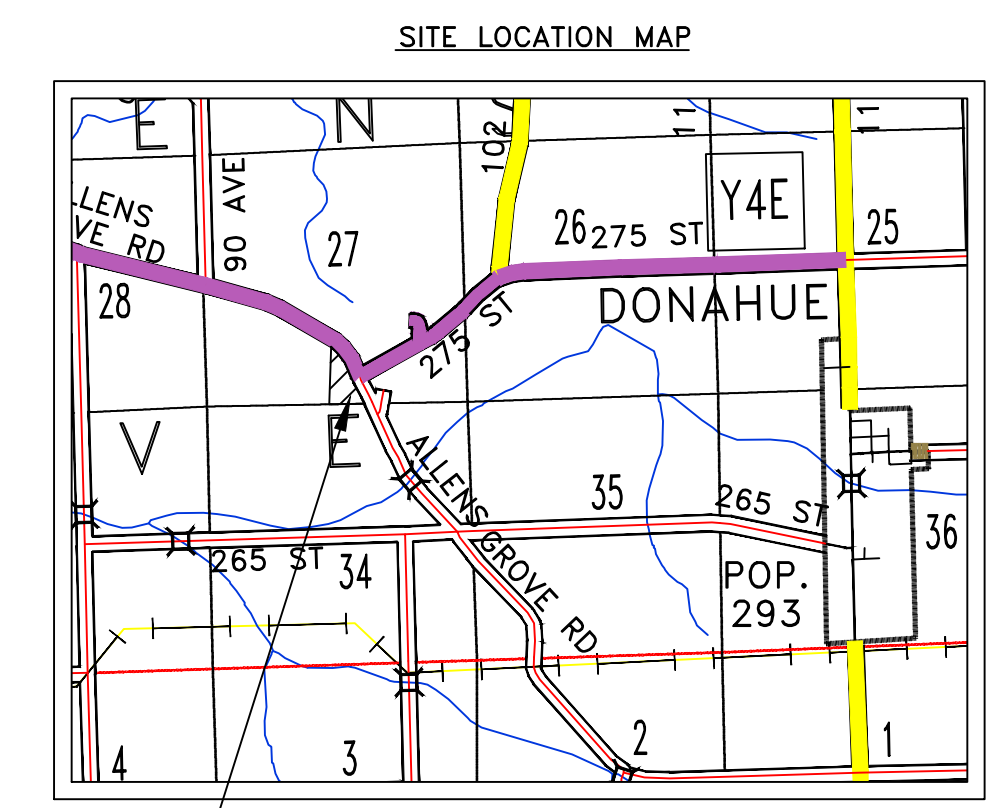
MIDDLE ROAD

RIDGE POINTE

FUTURE BUILDING
4,400 SQ. FT.

FUTURE PARKING

3262
RIDGE POINTE



APPROXIMATE SITE LOCATION

- GENERAL NOTES**
- ALL IMPROVEMENTS SHOWN ON THESE ENGINEERING PLANS SHALL COMPLY WITH THE IOWA STATEWIDE URBAN DESIGN AND SPECIFICATIONS (SUDAS), CITY SPECIFIC SUPPLEMENTAL SPECIFICATIONS, AND THE STANDARDS OF THE IOWA DEPARTMENT OF NATURAL RESOURCES.
 - LEGAL DESCRIPTION OF PROPERTY: Sec:27 Twp:80 Rng:02PT SW SE DUNN EST.LOTS 9 & 14 W OF RDEX S 4.39 CHS
 - IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT ALL EXISTING UTILITIES AND PAVED STREETS, INCLUDING ANY NOT SHOWN ON THESE DRAWINGS. THE CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION AND NOTIFY THE ENGINEER IF ANY CONFLICTS WITH THE DRAWINGS OCCUR. ANY DAMAGE TO EXISTING UTILITIES AND/OR PAVED STREETS CAUSED BY TRENCHING AND GRADING OPERATIONS SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE. EXISTING UTILITY LOCATIONS SHOWN ON THE DRAWINGS ARE APPROXIMATE.
 - THE CONTRACTOR SHALL NOTIFY THE CITY OF DONAHUE AND THE ENGINEER 48 HOURS PRIOR TO COMMENCEMENT OF ANY WORK.
 - PROVIDE POSITIVE DRAINAGE AT ALL TIMES WITHIN THE CONSTRUCTION AREAS. DO NOT ALLOW WATER TO DRAIN OR TO POND ONTO ADJOINING PROPERTY OR PUBLIC RIGHT-OF-WAY.
 - ALL DEBRIS RESULTING FROM CONSTRUCTION OPERATIONS SHALL BE PROPERLY DISPOSED OF OFF-SITE.
 - CONCRETE PAVEMENT SHALL CONFORM TO THE REQUIREMENTS OF IOWA DEPARTMENT OF TRANSPORTATION SPECIFICATIONS FOR HIGHWAYS AND BRIDGE CONSTRUCTION, SECTION 2301, PORTLAND CEMENT CONCRETE PAVEMENT. CONCRETE PAVEMENT WITHIN THE PUBLIC RIGHT-OF-WAY SHALL CONFORM TO THE CITY OF DONAHUE STANDARDS AND SPECIFICATIONS.
 - ALL SOIL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL CONFORM TO THE IOWA CONSTRUCTION SITE EROSION CONTROL MANUAL, LATEST EDITION.
 - NOTE: ALL DIMENSIONS ARE TO THE BACK OF CURB, UNLESS OTHERWISE NOTED.

LEGEND:			
	EASEMENT		EXISTING GAS VALVE
	SETBACK LINE		EXISTING WATER VALVE
	CENTERLINE		EXISTING UTILITY POLE
	PROPERTY BOUNDARY		EXISTING LIGHT POLE
	EXISTING FENCE		EXISTING TREE
	EXISTING SANITARY		EXISTING BUSH
	PROPOSED SANITARY		EXISTING MANHOLE
	EXISTING STORM SEWER		EXISTING FIRE HYDRANT
	PROPOSED STORM SEWER		FOUND PROPERTY PIN
	EXISTING WATER		CONTROL POINT
	PROPOSED WATER		EXISTING CONTOUR LINE
	EXISTING GAS LINE		PROPOSED CONTOUR LINE
	EXISTING ELECTRIC		SPOT ELEVATION TOP OF CURB
			SPOT ELEVATION FL & GUTTER
			SPOT ELEVATION SIDEWALK
			SPOT ELEVATION FINISHED FLOOR ELEVATION

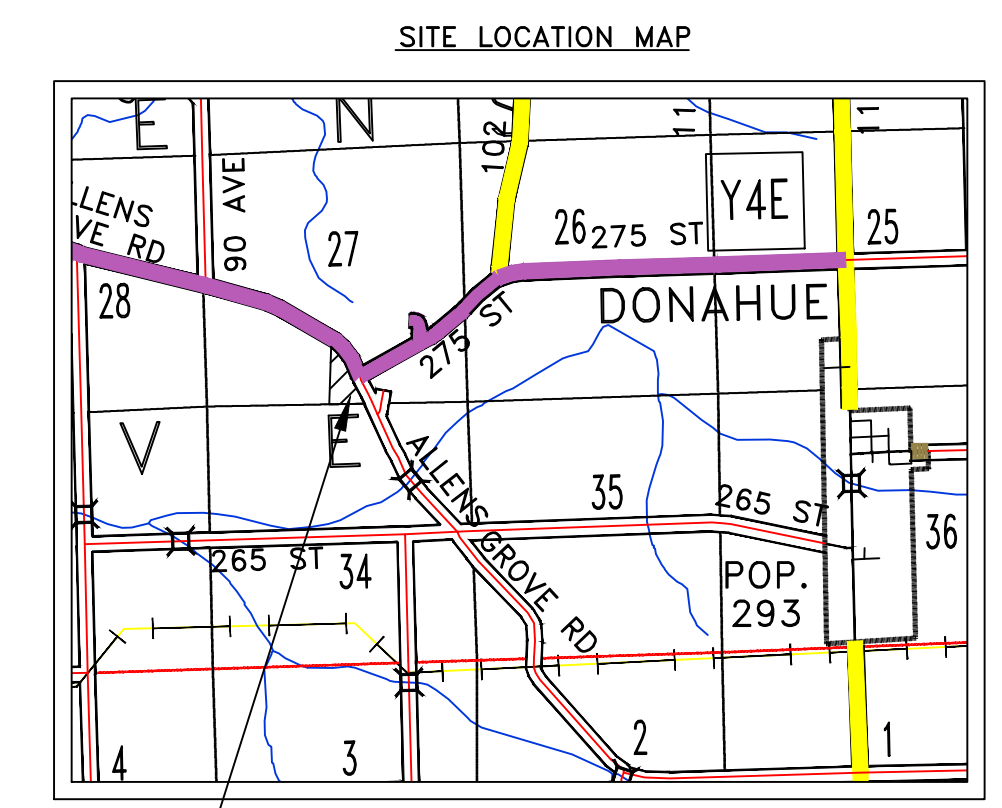
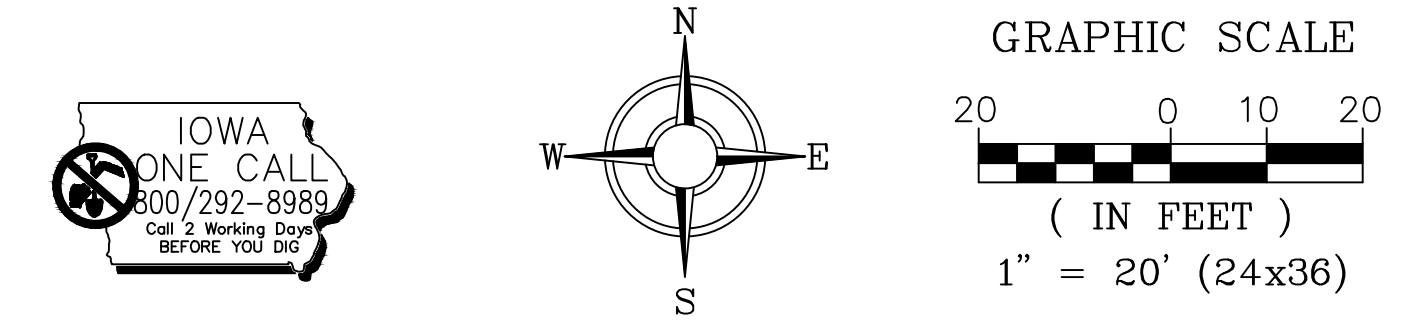
NO.	REVISIONS: DESCRIPTION	DATE

IMC Construction

Proposed Patio
3262 Ridge Pointe
Bettendorf, Iowa
SITE PLAN

C-1 Neighborhood Commercial
Zoning Requirements

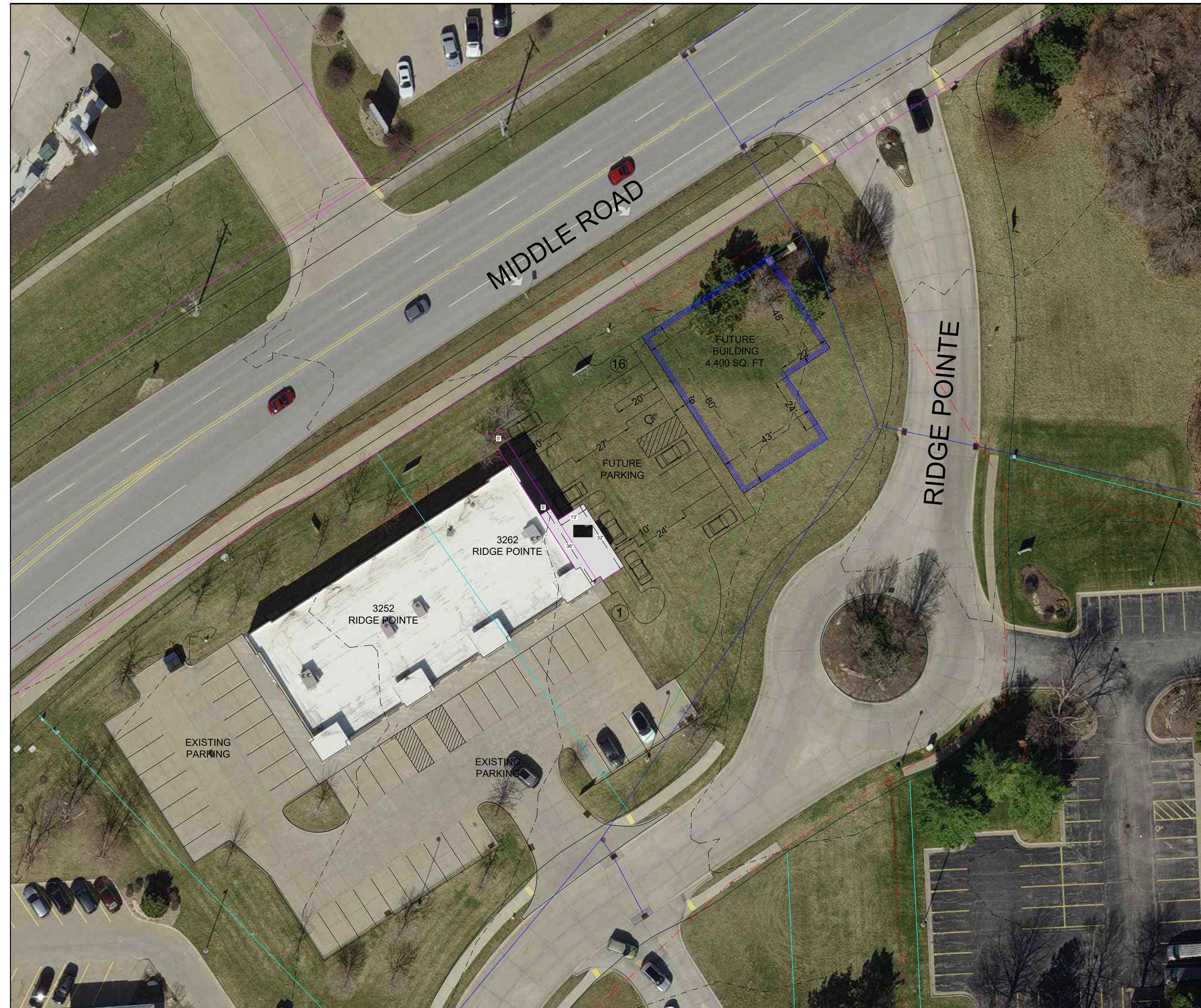
Front Yard Setback: 20' Minimum
Side Yard Setback: 20' Minimum
Rear Yard Setback: 20' Minimum



APPROXIMATE SITE LOCATION

- GENERAL NOTES**
- ALL IMPROVEMENTS SHOWN ON THESE ENGINEERING PLANS SHALL COMPLY WITH THE IOWA STATEWIDE URBAN DESIGN AND SPECIFICATIONS (SUDAS), CITY SPECIFIC SUPPLEMENTAL SPECIFICATIONS, AND THE STANDARDS OF THE IOWA DEPARTMENT OF NATURAL RESOURCES.
 - LEGAL DESCRIPTION OF PROPERTY: Sec:27 Twp:80 Rng:02PT SW SE DUNN EST.LOTS 9 & 14 W OF RDEX S 4.39 CHS
 - IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT ALL EXISTING UTILITIES AND PAVED STREETS, INCLUDING ANY NOT SHOWN ON THESE DRAWINGS. THE CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION AND NOTIFY THE ENGINEER IF ANY CONFLICTS WITH THE DRAWINGS OCCUR. ANY DAMAGE TO EXISTING UTILITIES AND/OR PAVED STREETS CAUSED BY TRENCHING AND GRADING OPERATIONS SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE. EXISTING UTILITY LOCATIONS SHOWN ON THE DRAWINGS ARE APPROXIMATE.
 - THE CONTRACTOR SHALL NOTIFY THE CITY OF DONAHUE AND THE ENGINEER 48 HOURS PRIOR TO COMMENCEMENT OF ANY WORK.
 - PROVIDE POSITIVE DRAINAGE AT ALL TIMES WITHIN THE CONSTRUCTION AREAS. DO NOT ALLOW WATER TO DRAIN OR TO POND ONTO ADJOINING PROPERTY OR PUBLIC RIGHT-OF-WAY.
 - ALL DEBRIS RESULTING FROM CONSTRUCTION OPERATIONS SHALL BE PROPERLY DISPOSED OF OFF-SITE.
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 - NOTE: ALL DIMENSIONS ARE TO THE BACK OF CURB, UNLESS OTHERWISE NOTED.

LEGEND:					
	EASEMENT		EXISTING GAS VALVE		EXISTING CONTOUR LINE
	SETBACK LINE		EXISTING WATER VALVE		PROPOSED CONTOUR LINE
	CENTERLINE		EXISTING UTILITY POLE		SPOT ELEVATION TOP OF CURB
	PROPERTY BOUNDARY		EXISTING LIGHT POLE		SPOT ELEVATION FL & GUTTER
	EXISTING FENCE		EXISTING TREE		SPOT ELEVATION SIDEWALK
	EXISTING SANITARY		EXISTING BUSH		SPOT ELEVATION FINISHED FLOOR ELEVATION
	PROPOSED SANITARY		EXISTING MANHOLE		
	EXISTING STORM SEWER		EXISTING FIRE HYDRANT		
	PROPOSED STORM SEWER		FOUND PROPERTY PIN		
	EXISTING WATER		CONTROL POINT		
	PROPOSED WATER				
	EXISTING GAS LINE				
	PROPOSED GAS LINE				
	EXISTING ELECTRIC				



NO.	REVISIONS: DESCRIPTION	DATE

MELI'S PANCAKE HOUSE

TENANT IMPROVEMENT
3262 RIDGE POINT
BETTENDORF, IOWA 52722

PERMIT SET
FEBRUARY 21, 2025

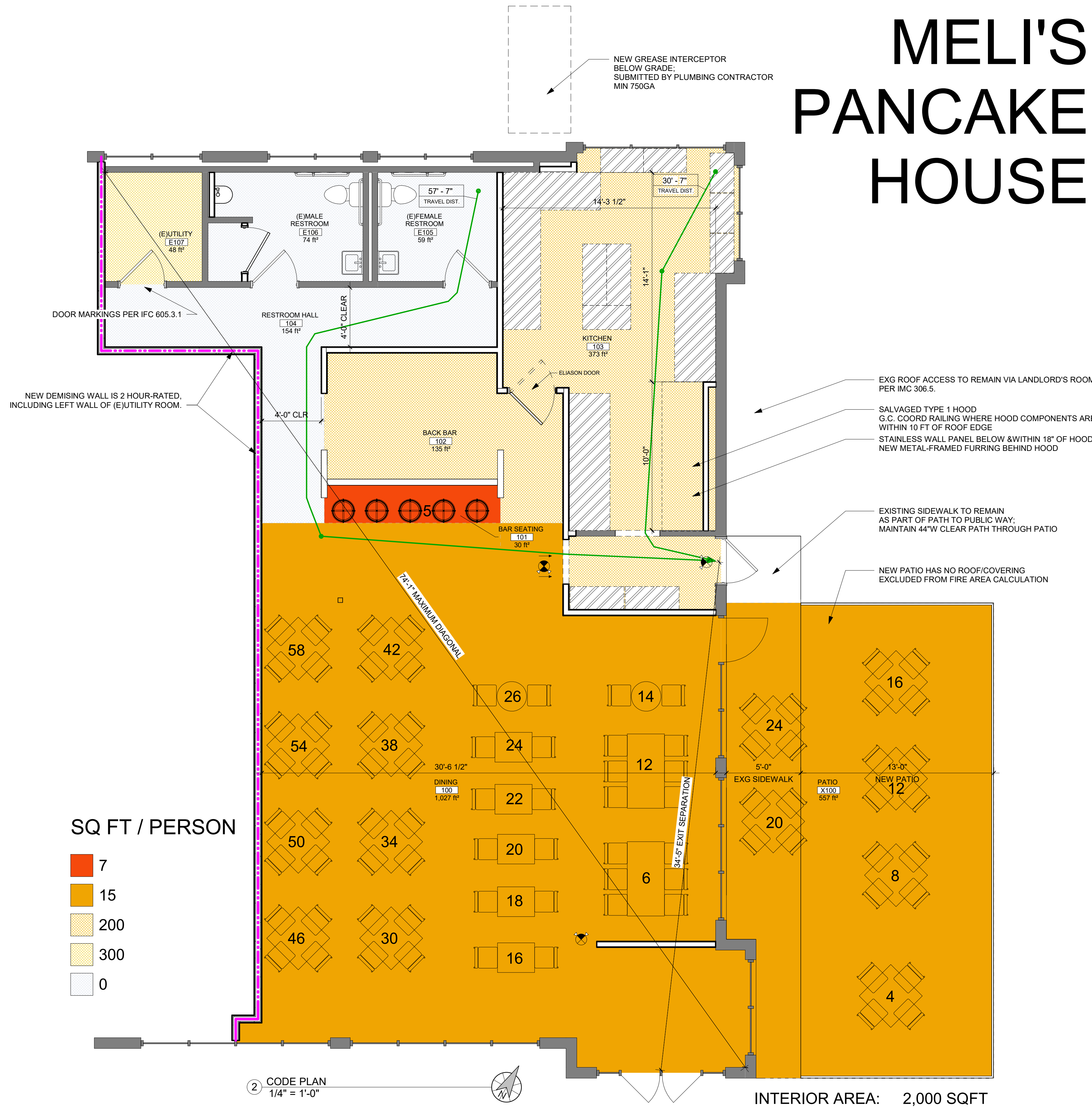


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PROJECT CODE ANALYSIS

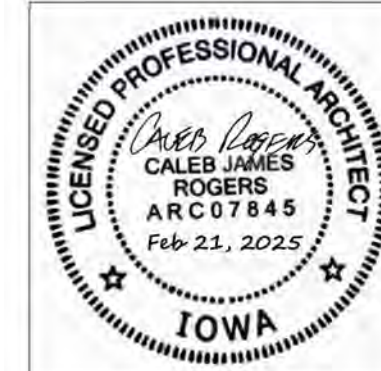
<p>CODE ANALYSIS APPLICABLE CODES AS ADOPTED & AMENDED (YEAR) INTERNATIONAL BUILDING CODE (YEAR) INTERNATIONAL EXISTING BUILDING CODE (YEAR) INTERNATIONAL FIRE CODE (YEAR) XXX ELECTRICAL CODE (YEAR) XXX PLUMBING CODE (YEAR) XXX MECHANICAL CODE (YEAR) XXX ENERGY CONSERVATION CODE (YEAR) XXX FUEL GAS CODE 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN (YEAR) (STATE) ACCESSIBILITY CODE (LOCAL) CODE OF ORDINANCES</p>	<p>MEANS OF EGRESS MAXIMUM FLOOR AREA ALLOWANCES PER OCCUPANT [TABLE 1004.5] SEE OCCUPANCY SCHEDULE FOR DETERMINATION</p> <p>EXIT AND EXIT ACCESS DOORWAY CONFIGURATION [§1007] SEE CODE PLAN FOR CONFIGURATION, INCLUDING DISTANCE BETWEEN EXITS.</p> <p>EXIT ACCESS TRAVEL DISTANCE [TABLE 1017.2] B OCCUPANCY 200 FEET SEE CODE PLAN FOR TRAVEL CONFIGURATION.</p>
<p>ZONING CRITERIA (NAME) ZONING DISTRICT (QUANTITY) PARKING STALLS REQ'D (QUANTITY) PARKING STALLS PROVIDED</p> <p>ACCESSIBLE PARKING SPACE [TABLE 1106.2] (QUANTITY) ACCESSIBLE PARKING STALLS REQUIRED, STANDARD (QUANTITY) ACCESSIBLE PARKING STALLS REQUIRED, VAN</p>	<p>ACCESSIBILITY EMPLOYEE WORK AREAS [§1104.3.1] COMMON USE CIRCULATION PATHS WITHIN EMPLOYEE WORK AREAS SHALL BE ACCESSIBLE ROUTES. EXCEPTION 1) COMMON USE CIRCULATION PATHS, LOCATED WITHIN EMPLOYEE WORK AREAS THAT ARE LESS THAN 1,000 SQUARE FEET IN SIZE DEFINED BY PERMANENTLY INSTALLED PARTITIONS, COUNTERS, CASEWORK OR FURNISHINGS, SHALL NOT BE REQUIRED TO BE ACCESSIBLE ROUTES. EXCEPTION 2) COMMON USE CIRCULATION PATHS, LOCATED WITHIN EXTERIOR EMPLOYEE WORK AREAS THAT ARE FULLY EXPOSED TO THE WEATHER, SHALL NOT BE REQUIRED TO BE ACCESSIBLE ROUTES. NO ACCESSIBLE PATH REQUIRED THROUGH EMPLOYEE WORK AREA <1,000 SF</p> <p>PUBLIC ENTRANCES [§1105.1] IN ADDITION TO ACCESSIBLE ENTRANCES REQUIRED BY SECTIONS 1105.1.2 THROUGH 1105.1.8, AT LEAST 80 PERCENT OF ALL PUBLIC ENTRANCES SHALL BE ACCESSIBLE. EXCEPTION 1) AN ACCESSIBLE ENTRANCE IS NOT REQUIRED TO AREAS NOT REQUIRED TO BE ACCESSIBLE. EXCEPTION 2) LOADING AND SERVICE ENTRANCES THAT ARE NOT THE ONLY ENTRANCE TO A TENANT SPACE. SEE CODE PLAN FOR CONFIGURATION OF ACCESSIBLE PUBLIC ENTRANCES.</p>
<p>OCCUPANCY CLASSIFICATION & USE ASSEMBLY GROUP A-2, RESTAURANT [§303.3]</p> <p>BUILDING HEIGHT AND AREA NO CHANGE TO EXISTING</p> <p>TYPES OF CONSTRUCTION FIRE-RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENTS [TABLE 601] 0 HOURS PRIMARY STRUCTURAL FRAME 0 HOURS BEARING WALLS, INTERIOR 0 HOURS NONBEARING WALLS AND PARTITIONS, INTERIOR 0 HOURS FLOOR CONSTRUCTION AND ASSOCIATED SECONDARY STRUCTURAL MEMBERS 0 HOURS FLOOR CONSTRUCTION AND ASSOCIATED SECONDARY STRUCTURAL MEMBERS</p> <p>TYPE VB CONSTRUCTION CLASSIFICATION [§802.5]</p> <p>ALLOWABLE MATERIALS IN TYPES I AND II CONSTRUCTION ARE LISTED IN IBC §603.</p>	<p>BETTENDORF-SPECIFIC NOTES THERE IS NO CO2 BULK TANK IN FACILITY.</p> <p>THE GENERAL CONTRACTOR WILL DIRECTLY COORDINATE THE FINAL LOCATIONS & TYPES OF FIRE EXTINGUISHERS WITH THE BUILDING DEPARTMENT & FIRE MARSHAL. REFER TO SECTION 906 & SUBSECTIONS IN THE 2015 IBC AND NFPA CHAPTER 10 FOR TYPE & SIZE REQUIREMENTS. AN ADDITIONAL ABC EXTINGUISHER MAY BE PROVIDED IN THE KITCHEN AREA IN ACCORDANCE WITH IFC 904.12.5 & SUBSECTIONS.</p> <p>A NICET LEVEL III OR HIGHER DESIGNER AND/OR CONTRACTOR WHO IS REGISTERED WITH THE STATE OF IOWA FIRE MARSHAL OFFICE WILL SUBMIT ONE FULL-SIZE SET OF PLANS TO BETTENDORF FIRE RESCUE & AN ELECTRONIC (PDF) VERSION WILL ALSO BE SUBMITTED TO BUILDING@BETTENDORF.ORG. THE GC WILL PROVIDE DOCUMENTATION SHOWING REGISTRATION WITH THE STATE OF IOWA FIRE MARSHAL OFFICE FOR DESIGNER & CONTRACTOR ASSOCIATED WITH THE CURRENT SUBMITTAL.</p> <p>THE GENERAL CONTRACTOR WILL DIRECTLY COORDINATE THE FINAL LOCATIONS OF EMERGENCY / EXIT LIGHTING WITH THE AHJ PRIOR TO INSTALLATION OF THE FIXTURES. EMERGENCY EXIT AND EGRESS LIGHTING WILL BE FIELD VERIFIED ONCE ALL FURNITURE AND EQUIPMENT IS IN PLACE. ADDITIONAL FIXTURES MAY BE REQUIRED DEPENDING ON FINAL LAYOUTS.</p> <p>THE GENERAL CONTRACTOR WILL DIRECTLY COORDINATE THE ELECTRICAL RECEPTACLES WITH THE ELECTRICAL CONTRACTOR & AHJ. ALL RECEPTACLES IN THE PUBLIC AREA ARE TO BE TAMPER-RESISTANT. IF VACANT TENANT SPACE BEING TAKEN OVER HAS AN ELECTRICAL SERVICE, IT WILL NEED TO BE DISCONNECTED. BREAKERS REMOVED FROM PANEL AND PANEL DOOR LOCKED. TAMPER RESISTANT RECEPTACLES REQUIRED IN PRE-MANUFACTURED OFFICE FURNITURE.</p> <p>THE GENERAL CONTRACTOR WILL DIRECTLY COORDINATE THE PLUMBING FIXTURES WITH THE PLUMBING CONTRACTOR & AHJ, INCLUDING FLOOR DRAINS.</p> <p>THE BUILDING ADDRESS WILL BE POSTED AS REQUIRED BY SECTION 27-139 OF THE CITY OF BETTENDORF MUNICIPAL CODE. THE GENERAL CONTRACTOR & AHJ WILL COORDINATE FINAL ADDRESS SIGN CONFIGURATION. THIS IS EXCLUDED FROM THE ARCHITECTURAL DRAWINGS.</p> <p>A KNOX BOX WILL BE PROVIDED ON THE BUILDING AND MASTER KEY/ALARM PANEL KEY WILL BE PROVIDED. THE GENERAL CONTRACTOR & AHJ WILL COORDINATE FINAL LOCATION OF INSTALLATION. THIS IS EXCLUDED FROM THE ARCHITECTURAL DRAWINGS. PROVIDE UPDATED MASTER KEY AND KEY TO UNIT FOR KNOX BOX ON THIS BUILDING AS WELL AS KEYS MUST BE PROVIDED FOR ACCESS TO THE BUILDING, ELEVATOR AND FIRE ALARM CONTROL PANEL.</p> <p>PER 312.10 UPC SLEEVES SHALL BE PROVIDED TO PROTECT PIPING THROUGH CONCRETE AND MASONRY WALLS, AND CONCRETE FLOORS.</p> <p>UNDERGROUND PIPING - ENSURE ALL THERMOPLASTIC (PVC) UNDERGROUND PIPING IS PROPERLY BEDDED WITH A GRANULAR FILL OR APPROVED OTHER APPROVED FILL UPON ARRIVAL FOR INSPECTIONS.</p> <p>SECTION 605.3.1 OF THE IFC REQUIRES DOORS INTO ELECTRICAL ROOMS TO BE MARKED WITH A PLAINLY VISIBLE, LEGIBLE AND DURABLE SIGN STATING ELECTRICAL ROOM OR SIMILAR APPLICABLE APPROVED WORDING. MECHANICAL ROOM, SPRINKLER ROOM, FIRE ALARM PANEL, ROOF ACCESS, OXYGEN STORAGE & THIS DOOR MUST REMAIN UNLOCKED DURING BUSINESS HOURS DOORS SHOULD ALSO BE APPROPRIATELY LABELED. LETTERS ARE TO BE AT LEAST 1" TALL AND CONTRAST IN COLOR TO THE BACKGROUND.</p> <p>THROUGH PENETRATIONS AND ANNULAR SPACE IN HORIZONTAL OR VERTICAL FIRE WALLS, BARRIERS AND PARTITIONS MUST COMPLY WITH THE 2015 IBC SECTION 714. TO MEET THE FIRE WALL, CEILING/FLOOR RATINGS.</p> <p>RATED WALLS/CEILING - INCLUDE LETTERING NOT LESS THAN 3 INCHES IN HEIGHT WITH A MINIMUM 3/8-INCH STROKE IN A CONTRASTING COLOR INCORPORATING THE SUGGESTED WORDING, "FIRE AND/OR SMOKE BARRIER—PROTECT ALL OPENINGS," OR OTHER WORDING</p>
<p>FIRE AND SMOKE PROTECTION FIRE BARRIERS [§707] - SEE CODE PLAN FOR LOCATIONS. FIRE-RESISTANCE-RATING REQUIREMENTS FOR FIRE BARRIERS, FIRE WALLS OR HORIZONTAL ASSEMBLIES BETWEEN FIRE AREAS [TABLE 707.3.10] 2 HOURS - FIRE RESISTANCE RATING A - OCCUPANCY GROUP</p> <p>OPENING FIRE PROTECTION ASSEMBLIES, RATINGS AND MARKING [TABLE 716.2(2)] SEE CODE PLAN FOR REQUIRED WALL ASSEMBLY RATING. SEE DOOR SCHEDULES FOR OPENING RATINGS.</p> <p>FIRELOCKING AND DRAFTSTOPS SHALL BE INSTALLED IN COMBUSTIBLE CONCEALED LOCATIONS IN ACCORDANCE WITH THIS SECTION. [§718]</p>	<p>INTERIOR FINISHES INTERIOR WALL AND CEILING FINISH REQUIREMENTS BY OCCUPANCY [TABLE 803.13] GROUP A-2 CLASSIFICATION SPACE (C) ROOMS AND ENCLOSED SPACES</p> <p>FIRE PROTECTION AND LIFE SAFETY SYSTEMS GROUP A-2 OCCUPANCIES [§903.2.1.2] AN AUTOMATIC SPRINKLER SYSTEM SHALL BE PROVIDED THROUGHOUT STORIES CONTAINING GROUP A-2 OCCUPANCIES... WHERE ONE OF THE FOLLOWING CONDITIONS EXISTS. 1. THE FIRE AREA EXCEEDS 5,000 SQUARE FEET. 2. THE FIRE AREA HAS AN OCCUPANT LOAD OF 100 OR MORE. 3. THE FIRE AREA IS LOCATED ON A FLOOR OTHER THAN A LEVEL OF EXIT DISCHARGE SERVING SUCH OCCUPANCIES. NO AUTOMATIC SPRINKLER SYSTEM IS REQUIRED.</p> <p>PORTABLE FIRE EXTINGUISHERS WHERE REQUIRED [§906.1] SEE CODE PLAN FOR LOCATIONS OF PORTABLE FIRE EXTINGUISHERS.</p> <p>GROUP 907.2.1, GROUP A OCCUPANCIES [§907.2.1] A MANUAL FIRE ALARM SYSTEM IS NOT REQUIRED.</p>
<p>PLUMBING FIXTURES REQUIRED</p> <p>TOILETS FEMALE 1 REQUIRED, 1 PROPOSED MALE 1 REQUIRED, 1 PROPOSED ALL-GENDER A.K.A. FAMILY A.K.A. ASSISTED-USE NONE REQUIRED, NONE PROPOSED</p> <p>URINALS MALE NONE REQUIRED, 1 PROPOSED</p> <p>LAVATORIES FEMALE 1 REQUIRED, 1 PROPOSED MALE 1 REQUIRED, 1 PROPOSED</p> <p>DRINKING FOUNTAIN NONE REQUIRED, ALTERNATIVE PROVISIONS EXIST</p> <p>OTHER SERVICE SINK 1 REQUIRED, 1 PROPOSED IN KITCHEN</p>	

	1-HR RATED		FIRE EXTINGUISHER CABINET
	2-HR RATED		EXIT SIGN W/ DIRECTION ARROW
	PATH OF TRAVEL		EXIT SIGN W/ EMERGENCY LIGHT

Number	Name	Area	Occupancy	Load Factor	Occupant Load
101	DINING	1,027 ft²	ASSEMBLY-UNCONCENTRATED	15 ft²	69
101	BAR SEATING	30 ft²	CHAIRS ONLY	7 ft²	5
102	BACK BAR	135 ft²	COMM KITCHEN	200 ft²	1
103	KITCHEN	373 ft²	COMM KITCHEN	200 ft²	2
104	RESTROOM HALL	154 ft²	N/A	0 ft²	0
E105	(E)FEMALE RESTROOM	59 ft²	N/A	0 ft²	0
E106	(E)MALE RESTROOM	74 ft²	N/A	0 ft²	0
E107	(E)UTILITY	48 ft²	MECH EQUIP ROOM	300 ft²	1
		1,899 ft²			78

Number	Name	Area	Occupancy	Load Factor	Occupant Load
X100	PATIO	557 ft²	ASSEMBLY-UNCONCENTRATED	15 ft²	38
		557 ft²			38

NO.	SHEET NAME
A001	COVER & CODE ANALYSIS
A002	DRAWING STANDARDS
A004	TYPICAL MOUNTING HEIGHTS & CLEARANCES
A101	FLOOR PLAN AND DEMOLITION PLAN
A110	REFLECTED CEILING PLAN, DOOR SCHEDULE, WALL TYPES



I HEREBY CERTIFY THAT THE PORTION OF THIS TECHNICAL SUBMISSION DESCRIBED BELOW WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND RESPONSIBLE CHARGE. I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF IOWA.

PRINTED OR TYPED NAME: CALEB J ROGERS
SIGNATURE: *Caleb Rogers* DATE: Feb 21, 2025
REGISTRATION EXPIRES: 08/30/2025 DATE ISSUED: 12/02/2019
PAGES OR SHEETS COVERED BY THIS SEAL:
A000, A002, A004, A101, A110

COVER & CODE ANALYSIS

Project number 25-022
Date 02/21/2025
Drawn by CJR
Checked by ---

A001

WILL NIGEY
 MELI'S PANCAKE HOUSE
 3262 RIDGE POINT
 BETTENDORF, IOWA 52722
 SCOTT COUNTY